

# Environmental Review Board Meeting Agenda

Wednesday, December 7, 2016

9:00 a.m.

Malibu City Hall – Multi-Purpose Room  
23825 Stuart Ranch Road

1. Written and Oral Communications from Staff and the Board

2. Old Business

None.

3. New Business

- A. Coastal Development Permit No. 15-028, Variance No. 16-016, Site Plan Review No. 16-009, Minor Modification No. 16-010, Conditional Use Permit No. 15-011, Lot Merger No. 16-001, Initial Study No. 16-002, and Mitigated Negative Declaration No. 16-001 – An application for a new memorial park, including a new 6,000 square foot chapel, 673 square feet of ancillary spaces, 8,002 square foot subterranean parking lot and 1,346 square foot basement, 47 mausoleum structures with a maximum area of 200 square feet each for a total maximum of 9,400 square feet, approximately 28,265 in-ground burial plot spaces intermittently located throughout the property, 3,644 interments in above grade wall crypt structures, a circular driveway, parking lot, entry gates, grading, landscaping and exterior lighting

Location: 4000 Malibu Canyon Road  
APNs: 4458-028-015, 4458-028-019, and 4458-030-007  
Zoning: Community Visitor-Serving Two (CV-2)  
Applicant: Bruce McBride  
Owner: Green Acres, LLC  
Application Filed: April 28, 2015  
Case Planner: Senior Planner Fernandez, 456-2489 extension 482

Staff Recommendation: Review the proposed project and provide recommendations to the Planning Commission.

## Adjournment

*Copies of the staff reports or other written documentation relating to each item of business described above are on file in the office of the Planning Department, Malibu City Hall, 23825 Stuart Ranch Road, Malibu, California and are available for public inspection during regular office hours which are 7:30 a.m. to 5:30 p.m., Monday through Thursday and 7:30 a.m. to 4:30 p.m., Friday. Written materials distributed to the Board within 72 hours of the Board meeting are available for public inspection immediately upon distribution in the Planning Department at 23825 Stuart Ranch Road, Malibu, California (Government Code Section 54957.5(b)(2)). Copies of staff reports and written materials may be purchased for \$0.10 per page.*

*I hereby certify under penalty of perjury, under the laws of the State of California that the foregoing agenda was posted in accordance with the applicable legal requirements; dated this 2<sup>nd</sup> day of December, 2016.*

  
Kathleen Stecko, Senior Office Assistant



# Environmental Review Board Agenda Report

ERB Meeting  
12-07-16

**Item  
3.A.**

To: Members of the Environmental Review Board

Prepared by: Adrian Fernandez, Senior Planner *AF*

Reviewed by: Dave Crawford, City Biologist

Approved by: Bonnie Blue, Planning Director *BB*

Date prepared: November 30, 2016 Meeting date: December 7, 2016

Subject: Malibu Memorial Park Project

Case Numbers: Coastal Development Permit No. 15-028  
Variance No. 16-016  
Site Plan Review No. 16-009  
Minor Modification No. 16-010  
Conditional Use Permit No. 15-011  
Lot Merger No. 16-001  
Initial Study No. 16-002  
Mitigated Negative Declaration No. 16-001

Applicant: Bruce McBride  
Owner: Green Acres, LLC  
Location: 4000 Malibu Canyon Road  
APNs: 4452-028-015, 4458-028-019, and 4458-030-007  
Zoning: Commercial Visitor-Serving 2 (CV-2)

---

**RECOMMENDED ACTION:** Review the proposed project and initial study and provide recommendations to the Planning Commission.

**DISCUSSION:** The proposed project includes the construction of a new memorial park, including a new 6,000 square foot chapel, 673 square feet of ancillary spaces, 8,002 square foot subterranean parking lot and 1,346 square foot basement, 47 mausoleum structures with a maximum area of 200 square feet each for a total maximum of 9,400 square feet, approximately 28,265 in-ground burial plot spaces intermittently located throughout the property, 3,644 interments in above grade wall crypt structures, a circular

driveway, parking lot, entry gates, grading, landscaping and exterior lighting (Attachment 1 – Project Plans). The project is planned to connect to a future phase of the Malibu Civic Center Wastewater Treatment Facility (CCWTF).

According to the Local Coastal Program (LCP) Environmentally Sensitive Habitat Area (ESHA) and Marine Resources Map, a stream is identified across the northernmost corner of the subject property and parallel to Civic Center Way. However, the storm water that supported the stream was placed in an underground pipe circa 1990 and the stream no longer exists. Additionally, the Environmental Impact Report (EIR) for the CCWTF identified a stream at the southeasternmost corner of the subject property (Attachment 2 – ESHA Boundaries and Protected Walnut Tree Locations).

The Biological Inventory Report prepared by Rincon Consultants concluded that, even though the property contains sensitive habitat, the property is considered functionally isolated from the Santa Monica Mountains and Malibu Bluffs Park (Attachment 5 – Initial Study / Mitigated Negative Declaration). Therefore, the sensitive habitat on the property is not considered ESHA, except for the stream/riparian ESHA located at the southeasternmost corner of the subject property. No development is proposed within 300 feet of the stream/riparian ESHA and most of the sensitive habitat located on the site will be preserved. Nevertheless, the initial study includes mitigation measures to offset the impacts to the sensitive habitat and for the protection of wildlife and rare and special status plant species in the event any are discovered on the project site during the required pre-construction biological surveys.

At this time, a coastal development permit, conditional use permit and other discretionary requests are being processed for the memorial park and chapel. Separate administrative plan reviews and any other necessary entitlements would be processed for the mausoleums that are located near Pacific Coast Highway and elsewhere onsite to verify that these structure will not be visible from motorists traveling on Pacific Coast Highway from any vantage point immediately adjacent to the subject property or obstruct bluewater views of motorists traveling on Malibu Canyon Road. A complete list of project entitlements is provided in the *Required City Project Entitlements* section below.

Even though the project is not expected to impact ESHA, staff forwarded the project for Environmental Review Board (ERB) review because the project requires an initial study and underwent a Phase II archaeological study. The Planning Director requests the ERB, in its capacity as advisor to the Planning Commission, review the project, as well as the initial study, and make recommendations on the project and mitigation measures within the purview of the ERB, to ensure conformance with the LCP.

### ***Environmental Review and Project Chronology***

On April 13, 2015, Schmitz and Associates, Inc. submitted a request for determination of use.

On September 21, 2015, the Planning Commission adopted Planning Commission Resolution No. 15-89 determining that a cemetery/memorial park with an assembly structure is a conditionally permitted use in the CV-2 zoning district.

On April 28, 2015, Bruce McBride of Green Acres, LLC submitted a letter requesting to withdraw an application for the construction of a hotel and associated development and submitted an application for the proposed memorial park and chapel.

On April 11, 2016, story poles were placed on the subject property representing the location, height, mass and bulk of the proposed chapel and a sample of the proposed mausoleums. The placement of the story poles was certified by a professional land surveyor.

On November 10, 2016, a Notice of Intent to Adopt a Mitigated Negative Declaration was published in a newspaper of general circulation within the City of Malibu. The 30-day public review period began on November 14, 2016 and is set to end on December 14, 2016. Also, on November 18, 2016, the Governor's Office of Planning and Research distributed the mitigated negative declaration to responsible agencies for a 30-day public review period, from November 18, 2016 to December 19, 2016 (SCH No. 2016111054).

### ***Required City Project Entitlements***

The proposed project requires the following City entitlements:

1. Coastal Development Permit (CDP) No. 15-028: In accordance with LCP Local Implementation Plan (LIP) Section 13.3.
2. Variance (VAR) No. 16-016 for non-exempt grading in the amount of 16,985 cubic yards in excess of the maximum allowed. This is needed in order to cap the archaeologically sensitive area.
3. Site Plan Review (SPR) No. 16-009 for height over 18 feet but less than 28 feet for the chapel's pitched roof.
4. Minor Modification (MM) No. 16-010 for the mausoleums to have a less than 50 percent reduction of the required front yard setback.
5. Conditional Use Permit (CUP) No. 15-011 for the proposed memorial park and chapel in the CV-2 zoning district.
6. Lot Merger (LM) No. 16-001 for consolidation of the three existing legal lots into one legal lot.

### ***Site Description and Project Setting***

The subject property includes three adjacent vacant parcels, totaling 27.8 acres, which are located in a triangle-shaped area. All three parcels (APNs 4458-030-007, 4458-028-015 and 4458-028-019) are designated CV-2 in the Malibu General Plan, Zoning Map and LCP.

The project site is an elevated coastal terrace bordered by Malibu Canyon Road to the north and west, Pacific Coast Highway to the south, and Civic Center Way to the north and east. The central portions are generally level, but drop steeply 60 to 80 feet into Winter Canyon and the road cut for PCH on the southeastern portions of the project site. The project site is vacant; however, several dirt driveways traverse the site with trees and shrubs located intermittently throughout the project site. Approximately seven acres of the 27.8-acre site contain sensitive habitat and are considered unusable because of steep slopes; therefore, development is proposed on the remaining 21 acres.

Currently, a variety of native and non-native trees, coastal sage scrub, and native grasses are located on the project site. While coast live oak, Southern California black walnut, and toyon trees were recorded on the site, none of these trees meet the size requirement for protection under LIP Chapter 5 Native Tree Protection.

The subject property is bordered by Malibu Canyon Road and Pepperdine's' Alumni Park to the north and west, Civic Center Way and mixed institutional and residential uses to the north, the CCWTF to the east, and Pacific Coast Highway, Malibu Bluffs Park and the undeveloped Crummer site to the south. Nearby land uses include Pepperdine to the north and west, the Los Angeles County Road Maintenance Yard, Webster Elementary School, Our Lady of Malibu Catholic Church and School, and three condominium complexes off of Vista Pacifica and De Ville Way to the east. The site borders the low-lying lands of the Civic Center area and is visible from nearby neighborhoods, portions of the Civic Center area, the Pepperdine campus, Pacific Coast Highway and Malibu Canyon Road. In the foothills to the north and east of the site are the Malibu Knolls, a single-family residential neighborhood, and the structures and faculty housing of Pepperdine. Further to the east is the Civic Center area, including City Hall, various County buildings, the Malibu Library, three commercial shopping centers, and Legacy Park.

A small section of the California Coastal Commission's (CCC)'s appeal jurisdiction is located in the northern portion of the project site. The area marks a mapped blue line stream depicted on the City's LCP ESHA Overlay Map. After reviewing onsite conditions, the City Biologist has confirmed that this stream no longer exists and its storm water was placed in an underground concrete pipe. The CCWTF EIR identified a stream along the southeasternmost portion of the subject property. However, the proposed development will maintain a minimum of a 100-foot buffer from the stream/riparian ESHA, as required in the LCP.

### ***Project Description***

The Malibu Memorial Park Project consists of a chapel, subterranean parking, 47 freestanding mausoleum structures, approximately 28,265 in-ground burial plot spaces intermittently located throughout the property, 3,644 interments in above grade wall crypt structures, surface guest parking, and walking trails on approximately 21 acres of the 27.8-acre site. Visitor access will be provided by a system of pedestrian and golf cart

trails used to access the individual mausoleums and burial plots. A sloping waterfall would mark the primary entrance from Malibu Canyon Road, with an additional water feature in the median of the entry driveway and fountains throughout the project site.

Below the chapel would be an 8,002 square foot 19-stall subterranean garage and a 1,346 square foot basement. The subterranean garage would be used for service ingress/egress while the basement area would include bathrooms, storage, elevators and a casket lift car to the main floor. A public mausoleum would be located directly behind the chapel, to the east, and would accommodate caskets. Forty-seven freestanding private mausoleums would be located throughout the site and would be available for purchase. The 47 mausoleums would range in size from 140 square feet to a maximum of 200 square feet each.<sup>1</sup> These mausoleums are approximately 14 feet in width and length, and 12 to 14 feet in height. The majority of these mausoleums would be located in the south and east portions of the site.

Pursuant to LIP Sections 6.5(A)(1) and (3), new development must be sited and designed to minimize adverse impacts on scenic areas and site selection to avoid visual impacts is preferred over landscaping. To meet these standards, the mausoleums must maintain a certain setback from the top of slope along Pacific Coast Highway and southeast corner of the project site to minimize adverse impacts from Pacific Coast Highway, Malibu Canyon Road, Malibu Bluffs Park and Legacy Park, which are designated scenic areas. The applicant revised the site plan to site the mausoleums further away from the top of slopes along Pacific Coast Highway and the southeast corner of the project site.

Mitigation measures were added to the project for the erection of story poles representing the location and height of the mausoleums to verify that these structures are sited far enough from the top of the slope to avoid visibility from motorists traveling on Pacific Coast Highway from any vantage point immediately adjacent to the subject property and bluewater view impacts from motorists traveling on Malibu Canyon Road. Additionally, subsequent administrative plan review applications will be required for the mausoleums to verify compliance with this mitigation measure. As redesigned and with implementation of the mitigation measure, the proposed project will have a less than significant impact on applicable design and development standards.

The total proposed floor area ratio (FAR) is approximately 16,073 square feet (6,000 square foot chapel, 673 square feet of accessory uses and 9,400 square feet of mausoleums), excluding the subterranean garage and basement.<sup>2</sup> Such FAR consists of 1.3 percent.

---

<sup>1</sup> The total square footage attributed to the private mausoleums is approximately 9,400 square feet and is counted as gross floor area in the floor area ratio calculation.

<sup>2</sup> FAR does not include underground floor area, interior parking spaces, and spaces with floor-to-ceiling height less than six feet.

To comply with the City's landscape and open space regulations, 40 percent of the site must be landscaped (approximately 11 acres) and 25 percent must be used as open space (approximately 7 acres). The applicant is proposing that approximately 57 percent of the project site be landscaped (approximately 16 acres) and 35 percent be left as open space (approximately 10 acres).<sup>3</sup>

A more detailed project description is provided in the initial study.

### ***Cultural Resources***

Field surveys, literature reviews, and cultural resource reports have been completed on the project site and the surrounding area as early as 1962.<sup>4</sup> The most recent records search completed for the project site and surrounding area (e.g., within 0.5-miles of the project site) was completed on September 20, 2012 at the South Central Coast Information Center (SCCIC), California State University, Fullerton. The records search indicated that 42 cultural resource reports have been completed within a 0.5 mile of the project site; nine of which included at least a portion of the project site.

Prior field surveys completed from 1961 through 1984 by various qualified archaeologists resulted in a majority of the artifacts being removed from the project site. However, a report documenting the results of this investigation was not produced and little is known about the artifacts collected from the site. Therefore, a new Phase II investigation was recently undertaken and the consulting archaeologist concluded that the data potential of the site appears to have been exhausted and no additional data recovery phase is recommended. However, a prior Phase II investigation prepared in May 1995 by Robert J. Wlodarski recommended in-situ preservation or capping the site with a layer of imported soil (fill).

Construction activities would require grading and excavation to construct a driveway, chapel, the public mausoleum, 47 freestanding mausoleums, approximately 28,265 in-ground burial plot spaces, 3,644 interments in above grade wall crypt structures and parking. During construction, all grading activities and surface modifications would be confined to only those areas of absolute necessity to reduce any form of impact on unrecorded (buried) cultural resources that may exist within the confines of the project site. However, due to the fact that the project site has yielded archeological finds in the past and even though most has been collected from the site, it is possible that additional archeological resources could be located below the surface.

Mitigation measures have been added to the project to include a three-foot deep layer of soil over a 99,406 square foot (2.28 acre) archaeologically sensitive area, as well as cultural resources sensitivity training for all construction personnel, and archaeological

---

<sup>3</sup> The percentage of open space includes hardscape and landscape areas as allowed by LIP Section 3.8(A)(5)(b).

<sup>4</sup> [Cultural Resource Summary for the Rancho Malibu EIR, May 1996, prepared by Historical Environmental Archaeological Research Team.](#)

and Native American monitoring for all ground-disturbing activities. No in-ground burials will be allowed in the archaeologically sensitive area. The archaeologically sensitive area will accommodate only above-grade wall crypt structures and one freestanding mausoleum. The maximum depth of the footings for these structures would be 24 inches and there would be an additional 12 inches of cover for a total capping depth of 36 inches. With the implementation of these mitigation measures, the potential impacts to cultural resources are expected to be less than significant. The project, as conditioned, complies with the City's cultural resources protection policies.

### ***Water Quality***

#### **Construction**

Standard conditions of approval require that prior to grading permit issuance, final grading and drainage plans incorporating construction-phase Erosion and Sediment Control Plan and Storm Water Management Plan (SWMP), as well as post-construction storm water management plan and a Water Quality Mitigation Plan (WQMP) must be approved by the City Public Works Department. With the implementation of these conditions, the project conforms to the Water Quality Protection standards of LIP Chapter 17.

The SWMP and the proposed project's site design shall incorporate Source Control Best Management Practices (BMPs) to mitigate increased runoff generated by the increase of impervious surfaces on the project site. As stated in LIP Section 17.4.2, post-construction phase water quality requirements requires post-construction plans detailing how stormwater and polluted runoff would be managed or mitigated during the life of the project. A WQMP requires the implementation of appropriate site design and source control BMPs from LIP Section 17.6 to minimize or prevent post-construction polluted runoff. Applicable regulations and standard conditions of approval will ensure that the proposed project's construction-related water quality impacts would be less than significant.

#### **Operation**

Embalming would not be completed on the project site. Furthermore, concrete vaults will be used exclusively for the proposed project; this will limit the potential transfer of leachates from the remains to the surrounding soil. The use of the concrete vault will greatly limit the potential of leachate contaminating the surrounding soils. As the depth of groundwater onsite is in excess of 60 feet below the surface, groundwater contamination is highly unlikely. Therefore, based on the depth of groundwater below the surface and the legally required design conditions associated with burials, it is unlikely that decomposition byproducts would contaminate the local groundwater.

DEPARTMENT REVIEWS: The following is a discussion of the environmental issues pertaining to the proposed project as reviewed by City Departments and their corresponding approval. Department Review Sheets are included as Attachment 3.

### ***Biology***

On May 3, 2016, the City Biologist determined that the project was in compliance with the goals and policies related to the protection of biological resources. It was determined that the landscaping plan complies with the Landscape Water Conservation Ordinance. The allocated water service to the project is primarily from the Los Angeles County Waterworks District No. 29. Additionally, the land benefits from an allocation of potable water from the Pepperdine University property which could be utilized if necessary. Should non-potable recycled water from the CCWTF become available, it may be used to irrigate the landscaped areas and operate the water features. However, the City staff is uncertain when this recycled water would become available and how much of it could be allocated to this project.

The initial study includes a biological resource analysis. As previously stated in the *Discussion* section, the mapped ESHA on the property corresponds to a stream that no longer exists and the onsite sensitive resources do not qualify as ESHA because the property was determined to be functionally isolated from the Santa Monica Mountains and Malibu Bluffs Park. However, the EIR for the CCWTF identified a stream at the southeasternmost corner of the property that qualifies as a stream/riparian ESHA. The proposed development will maintain the required 100-foot buffer from ESHA and most of the sensitive habitat located on the site's surrounding steep slopes will be preserved. Although most of the on-site habitat is not considered ESHA, the dense, intact coastal sage scrub, foothill needlegrass patches and successional coastal sage scrub with ornamental habitats are considered sensitive and mitigation through restoration or in lieu fee is recommended for the sensitive habitat areas that are proposed to be affected by the proposed development.

Two California Native Plant Society List 4 species were observed on-site: Plummer's baccharis (*Baccharis plummerae* var. *plummerae*) and southern California black walnut (*Juglans californica* var. *californica*). Both species are on the Watch List as "limited in distribution" in California. No special status wildlife species, nesting birds or raptors, were observed on-site. However, a moderate potential exists that three special status wildlife species may occur within the property, including the coastal whiptail (*Aspidoscelis tigris stejnegeri*), Bryant's [San Diego desert] woodrat (*Neotoma bryanti* [*N. lepida intermedia*]), and coast horned lizard (*Phrynosoma blainvillii*). The loggerhead strike (*Laninus ludovicianus*), which is a California species of special concern, is a potentially sensitive wildlife that is likely to use the isolated coastal sage scrub habitat on-site while nesting. As most of the existing sensitive habitat will be preserved and the majority of the developed portion of the property will be preserved as private open space, the impacts to the three special status wildlife species that may be present at the property is considered minimal with mitigation.

Mitigation measures were added to offset any identified and potential impacts to sensitive biological resources. These mitigation measures include a survey conducted during the blooming periods of rare and special status plant species, nesting bird survey, and fencing off habitat and sensitive plant species during construction are required. Following implementation of the recommended mitigations, no significant impacts to special status resources and riparian and other sensitive habitats are anticipated.

### ***Fuel Modification***

Review of the proposed fuel modification plan for the CDP by the Los Angeles County Fire Department (LACFD) is still pending. However, the proposed chapel is located approximately in the middle of the site and its fuel modification area is not expected to extend into the adjacent sensitive habitats that are located onsite.

### ***Geology***

The geotechnical and soils reports prepared by GeoSoils Consultants, Inc. for the proposed project along with the project plans and initial study have been reviewed by City geotechnical staff (Attachment 4 – Geotechnical Reports). On September 21, 2016, City geotechnical staff issued a geotechnical review letter stating that the project is approved from a geotechnical perspective. Standard conditions of approval will be included to require that all recommendations of the consulting Certified Engineering Geologist, Geotechnical Engineer and/or City geotechnical staff shall be incorporated into all final design and construction plans including foundations, grading, and drainage. Final plans shall be reviewed and approved by City geotechnical staff prior to the issuance of a grading permit.

The reports indicate that the site is not located in an area susceptible to liquefaction and has no active or potentially active known faults. Landslides and other types of slope failures, such as rock falls and mud and debris flows, can result in areas with varying topography in the event of an earthquake or wet winters. The perimeter of the project site is generally surrounded by natural descending slopes, with the steepest slopes located along the site's northern and eastern boundaries. A landslide is located along the eastern portion of the project site, however soil testing and slope stability analyses completed in 2007 indicated that alluvium has buttressed the toe of the landslide and has stabilized the area. These slopes along the site's northern and eastern boundaries would remain and the proposed improvements include a row of soldier piles and a three foot tall retaining wall at the top of the slope to protect the unstable portions of the slope that are outside the landslide area that was analyzed to be stable. Additionally, the proposed project would be required to implement the engineering design specifications included in the California Building Code and approved geotechnical report.

Grading quantities associated with the project are summarized in Table 2. The proposed project includes approximately 44,735 cubic yards of non-exempt grading of which 16,985 cubic yards is for capping the archaeologically sensitive area and 27,750 cubic

yards for the rest of the project. LIP Section 8.3(B) allows for 1,000 cubic yards per acre of commercial or institutional development, which for the 27.8-acre site would equal 27,800 cubic yards. Without the non-exempt grading related to the capping area, the project is in compliance with the maximum allowed. VAR No. 16-016 is requested to permit the non-exempt grading related to the capping area. Additionally, a total of 95,310 cubic yards of exempt (understructure) grading is proposed from burials for the life of the project of which a total of 76,625 cubic yards<sup>5</sup> is export. The Public Works Department has reviewed the proposed project for conformance with LCP grading requirements, and has deemed the project consistent with these requirements.

<b>Table 1 – LCP Grading Conformance</b>						
	<b>Exempt**</b>			<b>Non-Exempt</b>	<b>Remedial</b>	<b>Total</b>
	<b>R&amp;R*</b>	<b>Understructure</b>	<b>Safety***</b>			
<b>Cut</b>	70,045	106,367	1,172	12,168	0	94,442
<b>Fill</b>	70,045	0	231	32,567	0	85,856
<b>Total</b>	<b>140,090</b>	<b>106,367</b>	<b>1,403</b>	<b>44,735</b>	<b>0</b>	<b>180,298</b>
<b>Import</b>	0	0	0	20,399	0	0
<b>Export</b>	0	106,367	941	0	0	86,909

All quantities listed in cubic yards.

\*R&R= Removal and Recompaction

\*\*Exempt grading includes all R&R, understructure and safety grading.

\*\*\*Safety grading is the incremental grading required for Fire Department access (such as turnouts, hammerheads, and turnarounds and any other increases in driveway width above 15 feet required by the LACFD).

Based on review of the submitted information, City geotechnical staff determined that the project is consistent with LCP policies, and development and design standards, subject to conditions.

### **Public Works**

The City Public Works Department has reviewed the initial study and project plans, and on May 16, 2016, determined that the proposed project is in conformance with the LCP and Malibu Municipal Code (MMC) and can proceed through the Planning Department process. Standard conditions of approval are identified to be implemented during construction and operation, including requiring that a final grading and drainage plan be approved prior to issuance of grading permits. The plan must include storm water management to mitigate increased runoff associated with site development, a storm water pollution prevention plan and a wet weather erosion and sediment control plan. The project is also conditioned to include offsite improvements to the surrounding streets.

<sup>5</sup> This amount of export was adjusted to include a 10 percent of shrinkage based on the geotechnical reports. Shrinkage is the amount of soil volume lost to an increase rate of soil recompaction.

## ***Wastewater Treatment***

The subject property is not included in the Phase 1 assessment district for the CCWTF; however, wastewater collection and recycled water distribution lines for Phase 1 are being constructed in the public rights of way adjacent to the project site. The overall flow capacity and design calculations for the CCWTF accounted for commercial use on the subject property and connection during Phase 2. The proposed project will be included in a subsequent assessment district/phase of the CCWTF, and would pay the assessment and connection charges. With payment of fees to connect to the CCWTF, impacts would be less than significant and no mitigation is required.

**SUMMARY:** The proposed project has been reviewed and conditionally approved for conformance with the LCP by staff, appropriate City departments and County agencies. The required findings can be made that the project complies with the LCP and MMC.

**STAFF FOLLOW-UP:** Following review by the ERB, staff will prepare a summary of ERB recommendations. Subsequently, a staff report will be prepared that includes all required project findings and analysis, and the mitigated negative declaration will be scheduled for a public hearing before the Planning Commission. The recommendations of the ERB will be incorporated into the Planning Commission agenda report for the project. The public review for the project's initial study and mitigated negative declaration period closes on December 14, 2016.

### **EXHIBITS:**

*Unless otherwise noted, the following exhibits are available on the City's Website: <http://www.malibucity.org/index.aspx?NID=572> and are available for public review by contacting the Planning Department at (310) 456-2489, extension 245 or visiting the Planning Department public counter.*

1. Project Plans (hardcopies distributed)
  - a. Architectural Plans
  - b. Civil Plans
  - c. Landscaping Plans
  - d. Lighting Plans
  - e. Color-Coded Slope Analysis
  - f. Fuel Modification Plan
2. [Department Review Sheets](#)
3. [Geotechnical Reports](#)
4. [Initial Study / Mitigated Negative Declaration](#)

**Development Consultant:**  
Project Delivery Analysts, LLC  
14342 Shawnee Street  
Moorpark, CA 93021  
Phone: (805) 798-6570  
Fax: (805) 552-0046  
Bruce McBride,  
Jake Jesson, Asst. P.M., Green Acres

**Architecture:**  
Burdge & Associates, Architects  
21235 Pacific Coast Highway  
Malibu, CA 90265  
Phone: (310) 456-5905  
Fax: (310) 456-7175  
Architect: Doug Burdge, AIA

**Archeology:**  
Environmental Science Associates  
21650 Oxnard Street, Suite 1680  
Woodland Hills, CA  
Phone: (310) 971-1500  
Office: (818) 703-8600  
Mitchell Marken, PHD.

**M.P. Design Consultant:**  
Cemetery Planning, Inc.  
4624 Avenida del Cazador  
Tucson, AZ  
Phone: (520) 623-0503  
Dwight Lind.

**M.P. Planning Consultant:**  
Johnson Consulting Group  
8095 North 85<sup>th</sup> Way  
Phoenix, AZ 85258  
Phone: (619) 239-3328  
Rich Sells.

**Civil Engineer:**  
Psomas  
11444 W. Olympic Blvd, Suite 750  
Los Angeles, CA 90064  
Phone: (310) 954-3700  
Fax: (310) 954-3777  
Andrew Nickerson, PE  
Albert Prieto.

**Geotechnical Consultants:**  
GeoSoils Consultants, Inc  
6634 Valjean Avenue  
Van Nuys, CA 91406  
Phone: (818) 785-2158  
Fax: (818) 785-1548  
Rudy Ruberti,  
Karen Miller.

**Landscape Architect**  
Place Landscaping  
324 Sunset Avenue, Suite E  
Venice, CA 90291  
Phone: (310) 450-8100  
Fax: (310) 450-8144  
Victoria Pakshong.

**Irrigation Consultant**  
Atomic Irrigation  
1158 26<sup>th</sup> Street, Suite 241  
Santa Monica, CA 90403  
Phone: (310) 592-4704  
Mark Susser.

**Traffic Consultant:**  
Overland Traffic Consultants,  
Inc. 27201 Tourney Road, #206  
Santa Clarita, CA 91355  
Phone: (661) 799-8423  
Fax: (661) 799-8456  
Jerry Overland,  
Liz Culhane.

**Biological Consultant:**  
Rincon Consultants, Inc.  
180 North Ashwood Avenue  
Ventura, CA 93003  
Phone: (805) 644-4455  
Fax: (805) 644-4240  
Felicia Griego,  
Duane Vander Pluym.

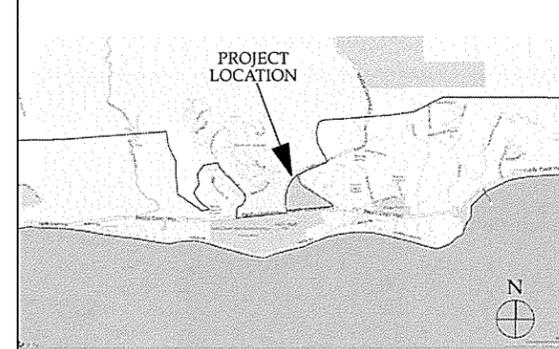
**Hydrogeologist:**  
Earth Forensics, Inc.  
12532 Vista Panorama  
North Tustin, CA 92705  
Phone: (714) 296-4055  
Richard Laton.

**Geologist:**  
GeoConcepts  
14428 Hamlin Street, Suite 200  
Van Nuys, CA 91401  
Phone: (818) 994-8895  
Fax: (818) 994-8599  
Robert Sousa,  
Scott Walter.

**Native American Monitor:**  
Native American Monitoring  
Group  
1931 Shadybrook Drive  
Thousand Oaks, CA 91362  
Phone: (805) 492-7255  
Fax: (805) 492-0350  
Beverly Salazar-Folkes.

**Land Use Consultant:**  
Schmitz & Associates, Inc.  
5234 Chesboro Road, Suite 200  
Agoura Hills, CA 91301  
Phone: (818) 338-3696  
Fax: (818) 338-3423  
Don Schmitz.

**Surveyors:**  
Land & Air Surveying, Inc.  
5312 Derry Avenue, Suite V  
Agoura Hills, CA 91301  
Phone: (818) 879-9879  
Fax: (818) 706-3040  
Mark Sandstrom.



VICINITY MAP

ARCHITECTURAL

- T-1.1 COVER SHEET / PROJECT INDEX
- FD-01 FIRE DEPARTMENT ACCESS- ROAD PROFILE
- A-0.1 SITE PLAN OVERVIEW & SETBACKS
- A-0.2 TOPOGRAPHIC SURVEY & ROOF PLAN OVERLAY
- A-0.3 PARTIAL SITE PLAN
- A-0.4 SITE PLAN OVERVIEW & PRIVATE MAUSOLEUMS
- A-0.5 PUBLIC MAUSOLEUMS
- A-0.6 PARKING LAYOUT
- A-0.7 GATE, STAIRS AND WALL DETAIL
- A-1.1 BASEMENT FLOOR PLAN
- A-1.2 FIRST FLOOR PLAN
- A-1.3 ROOF PLAN
- A-2.1 PROPOSED ELEVATIONS NORTH & SOUTH
- A-2.2 PROPOSED ELEVATIONS EAST & WEST
- A-3.1 PROPOSED SECTIONS A-A & B-B
- A-3.2 PROPOSED SECTIONS C-C & D-D
- A-3.3 SITE SECTIONS E-E & F-F
- A-3.4 SITE SECTIONS G-G & H-H
- BP1.01 NORTHERLY BURIAL PLOTS
- BP1.02 SOUTHERLY BURIAL PLOTS

4000 Malibu Canyon Road  
MALIBU,  
CA 90265

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.

WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

NO	DATE	ISSUE
1	2013-4-28	INITIAL PLANNING SUBMITTAL
2	2013-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-15	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS
5	2016-11-07	SITE WORK MODIFICATIONS

CIVIL

- C1.0 TITLE SHEET & NOTES
- C2.0 GRADING AND DRAINAGE PLAN
- C2.1 GRADING AND DRAINAGE DETAILS & SECTIONS
- C3.0 SEWER AND WATER PLAN

LANDSCAPE

- LI-1.0 HYDROZONE PLAN-WATER CALCULATIONS
- L-2.0 LANDSCAPE SITE PLAN
- L-2.2 WATER RILL PLAN AND ELEVATIONS

LIGHTING

- E1 EXTERIOR LIGHTING PHOTOMETRIC PLAN
- E2 EXTERIOR LIGHTING PHOTOMETRIC PLAN

MISCELLANEOUS

- COLOR CODED SLOPE ANALYSIS SURVEY
- FUEL MODIFICATION PLAN

**BURDGE & Associates**  
ARCHITECTS

MALIBU SUN VALLEY WWW.BUAIA.COM

21235 PACIFIC COAST HWY. MALIBU, CA 90265 TEL: 310-456-5905 480 WASHINGTON AVE. SUITE 204 C KETCHUM, ID 83340 TEL: 208-495-3228

DESCRIPTION:

COVER SHEET / PROJECT INDEX

DRAWING NO. **T-1.1**

PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 11/22/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.

	MIN. REQUIRED	PROPOSED
LANDSCAPING:	484,550 Sq.Ft. 40% of net lot Area	702,036 Sq.Ft. (57% of net lot area)
OPEN SPACES:	302,742 Sq.Ft. 25% of net lot Area	423,448 Sq.Ft. (34.9% of net lot area) (including Hardscape and Landscape)

PROJECT DESCRIPTION:

Green Acres, LLC, is developing the Malibu Memorial Park and Chapel, comprised of approximately 21.0 acres of a 27.8 acre property located east of Malibu Canyon Road, west of Civic Center Way, and north of Pacific Coast Highway in the City of Malibu, California (the "Project"). The unstable slope areas along the perimeter of the site comprise the remaining 7 acres of the parcel that Green Acres has elected not to develop. The proposed Memorial Park project contains approximately 16,073 GSF of FAR development and will include the construction of a 6,673 SF Main Chapel facility, 9,348 SF subterranean parking basement (19 parking spaces), 48 free-standing Mausoleum structures totaling approximately 9,400 SF (approx. 200 SF/each), approximately 28,265 "in ground" plot spaces and another 27,651 "above grade" interments will allow for various crypt configurations, cremation and fractional burial options, as well as surface unenclosed parking for 157 guest vehicles along the entry drive and Chapel ring.

DISCRETIONARY REQUESTS: Site plan review for height over 18' but less than 28' for sloped roof.

PROJECT ADDRESS: 4000 Malibu Canyon Road Malibu, CA 90265  
A.P.N.: 4458 030 007- 4458 028 015 - 4458 028 019  
LCP ZONING: CV-2 (Commercial Visitors Serving 2)  
OWNER: Green Acres, LLC a California Limited Liability Company 22837 Pacific Coast Highway #775 Malibu, CA 90265

OCCUPANCY GROUP: A-3/U  
TYPE OF CONSTRUCTION: VB  
NUMBER OF STORIES: 1 + Basement  
FIRE ZONE: VHFH5Z  
SPRINKLERED: YES (Sprinklered per LaCo. Fire Departments Requirement)  
LOT AREA: Gross: 1,228,908 Sq.Ft. (28.2 Acres)  
Net: 1,210,968 Sq.Ft. (27.8 Acres)  
LOT DIMENSIONS: Depth: 1,299.33'  
Width: 952.07'

	MIN REQUIRED:		PROPOSED:	
	FRONT	SIDE	FRONT	SIDE
REQUIRE	65'	148.21'	494.12' Chapel, 103.48' Mausoleum	295.18' Chapel, 95.21' Mausoleum
REAR	194.90'	576.88'	576.88' Chapel, 290.49' Mausoleum	
TOTAL	137'	176'		
-Regular	110	135		
-Compact	27	35		
-ADA		6		

\*include ADA Accessible Parking Spaces dimensions per CBC 2013 -->(min. 18'x20')

MAX. ALLOWABLE FLOOR AREA: F.A.R. 0.15 of Lot Area  
1,210,968 Sq.Ft. x 0.15 = 181,645 Sq.Ft. FLOOR AREA ALLOWED

PROPOSED FLOOR AREA :

Main Chapel (including bathrooms and enclosed and covered accessory areas).....	6,673 Sq.Ft. +
Detached Buildings (47 free-standing Mausoleums) .....	9,400 Sq.Ft. =
T.D.S.F.....	16,073 Sq.Ft.
Subterranean Garage... ..	9,348 Sq.Ft. (Excluded from F.A.R.)

PROJECT DATA

Deferred submittal documents shall be submitted to the architect- or engineer-of-record, who shall review them and forward them to the building official with a notation that they have been reviewed and have been found to be in general conformance with the design of the building or structure. The deferred items shall not be installed until their design and submittal documents have been reviewed and approved by the building official.

DEFERRED SUBMITTAL

ADDITIONAL	ADD'L	JOINT	JT.
ADJUSTABLE	ADJ.		
ABOVE FINISHED FLOOR	A.F.F.	MANUFACTURE	MFR.
AIR CONDITIONING	A/C	MANUFACTURERS	MFRS.
ALTERNATE	ALT.	MATERIAL	MATL.
ARCHITECT (URAL)	ARCH.	MAXIMUM	MAX.
AREA DRAIN	A.D.	MECHANICAL	MECH.
BLOCKING	BLKG.	METAL	MTL.
BOARD	BD.	MIXIMUM	MIN.
BUILDING	BLDG.	MISCELLANEOUS	MISC.
CABINET	CAB.	NORTH	N
CEILING	CLG.	NOT IN CONTRACT	N.I.C.
CENTER	CTR.	NOT TO SCALE	N.T.S.
CENTER LINE	CL	NUMBER	NO. OR X
CERAMIC TILE	C.T.	ON CENTER	O.C.
CLEAR	CLR.	OUTSIDE DIAMETER	O.D.
CONCRETE	CONC.	OPENING	OPG.
CONCRETE MASONRY UNIT	C.M.U.	PAIR	PR.
CONSTRUCTION	CONST.	PERFORATED(ED)	PERF.
CONTINUOUS	CONT.	PIECE/PIECES	PC./PCS.
CONTROL JOINT	C.J.	PLANTER AREA	P.A.
DIAMETER	D.I.A.	QUANTITY	QTY.
DIMENSION	DIM.		
DOUBLE	DBL.	RADIUS	RAD.
DOUBLE HUNG	D.H.	REFERENCE	REF.
DOWN	DN.	REFRIGERATOR	REFRIG.
DRAWING	DWG.	REINFORCE/REINFORCING	REINF.
ELECTRIC	ELECT.	RETURN AIR	REQ.
ELECTRIC PANEL	ELECT. PNL.	ROUGH OPENING	R.A. R.O.
ELEVATOR	ELEV.	SHEET	SHT.
ENCLOSURE	ENCL.	SIMILAR	SIM.
ENGINEER	ENGR.	SOUTH	S.
EQUAL	EQ.	SMOKE DETECTOR	S.D.
EQUIPMENT	EQUIP.	SPEAKER	SPKR.
EXISTING	EXIST.	SPECIFICATIONS	SPECS.
EXTRUDE OR EXTRUSION	EXTR.	SPRINKLER HEAD	S.H.
FABRICATE(ED)	FAB.	SQUARE	SQ.
FINISH	FIN.	STAINLESS STEEL	S.S.
FIXTURE	FIXT.	STANDARD	STD.
FLOOR	FL.	STEEL	STL.
FLUORESCENT	FLUOR.	STRUCTURAL	STRUCT.
FOOT	FT.	TELEPHONE	TEL.
FRESH AIR INTAKE (OR INLET)	F.A.I.	TELEVISION	TV
FURNISH(ED)	FURN.	TEMPORARY	TEMP.
FURRING	FUR.	TONGUE AND GROOVE	T & G.
GALVANIZED	GALV.	TYPICAL	TYP.
GAUGE	GA.	UNLESS OTHERWISE NOTED	U.O.N.
GROUND	GRND.	VERTICAL	VERT.
GYPSON BOARD	GYP. BD.	VINYL COMPOSITION TILE	V.C.T.
HEIGHT	HT.	WITH	W/
HOLLOW METAL	H.M.	WITHOUT	W/O
HORIZONTAL	HORIZ.	WOOD	WD.
HOT WATER	H.W.		
INSIDE DIAMETER	I.D.		

ABBREVIATIONS

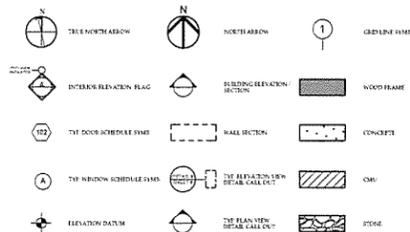
PROJECT DATA

SHEET INDEX

PROJECT TEAM

- 2014 County of Los Angeles Building Code (Title 26) Based on the 2013 California Building Code and the 2012 International Building Code
- 2014 County of Los Angeles Electrical Code (Title 27) Based on the 2013 California Electrical Code and the 2011 National Electrical Code
- 2014 County of Los Angeles Plumbing Code (Title 28) Based on the 2013 California Plumbing Code and the 2012 Uniform Plumbing Code
- 2014 County of Los Angeles Mechanical Code (Title 29) Based on the 2013 California Mechanical Code and the 2012 Uniform Mechanical Code
- 2014 County of Los Angeles Green Building Standards Code (Title 31) Based on the 2013 California Green Building Standards Code

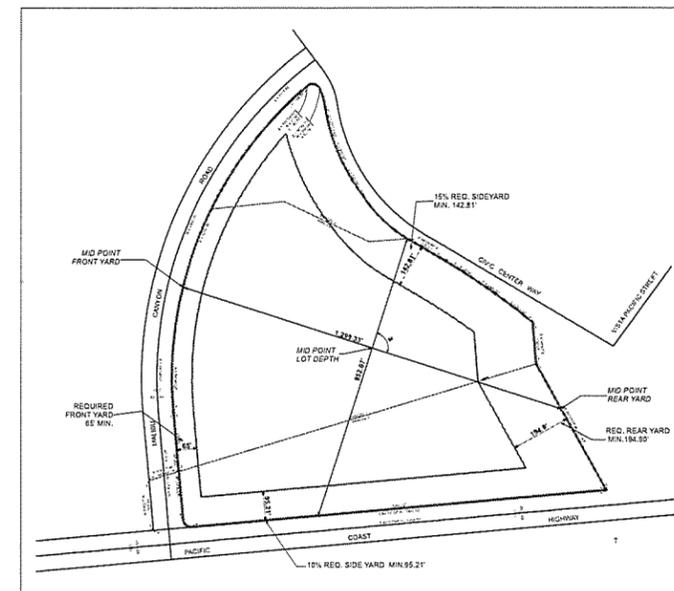
APPLICABLE CODES



SYMBOL LEGEND

# MALIBU MEMORIAL PARK

4000 Malibu Canyon Road  
MALIBU,  
CA 90265



2 SETBACKS CALCULATION  
SCALE: 1:3200

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.

WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

NO	DATE	ISSUE
1	2015-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-12	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS
5	2016-11-07	SITE WORK MODIFICATIONS

## BURDGE & Associates ARCHITECTS

MALIBU SUN VALLEY WWW.BUAIA.COM

21235 PACIFIC COAST HWY. MALIBU, CA 90265 TEL: 310-456-5905 480 WASHINGTON AVE. SUITE 204 C KETCHUM, ID 83340 TEL: 208-495-3228

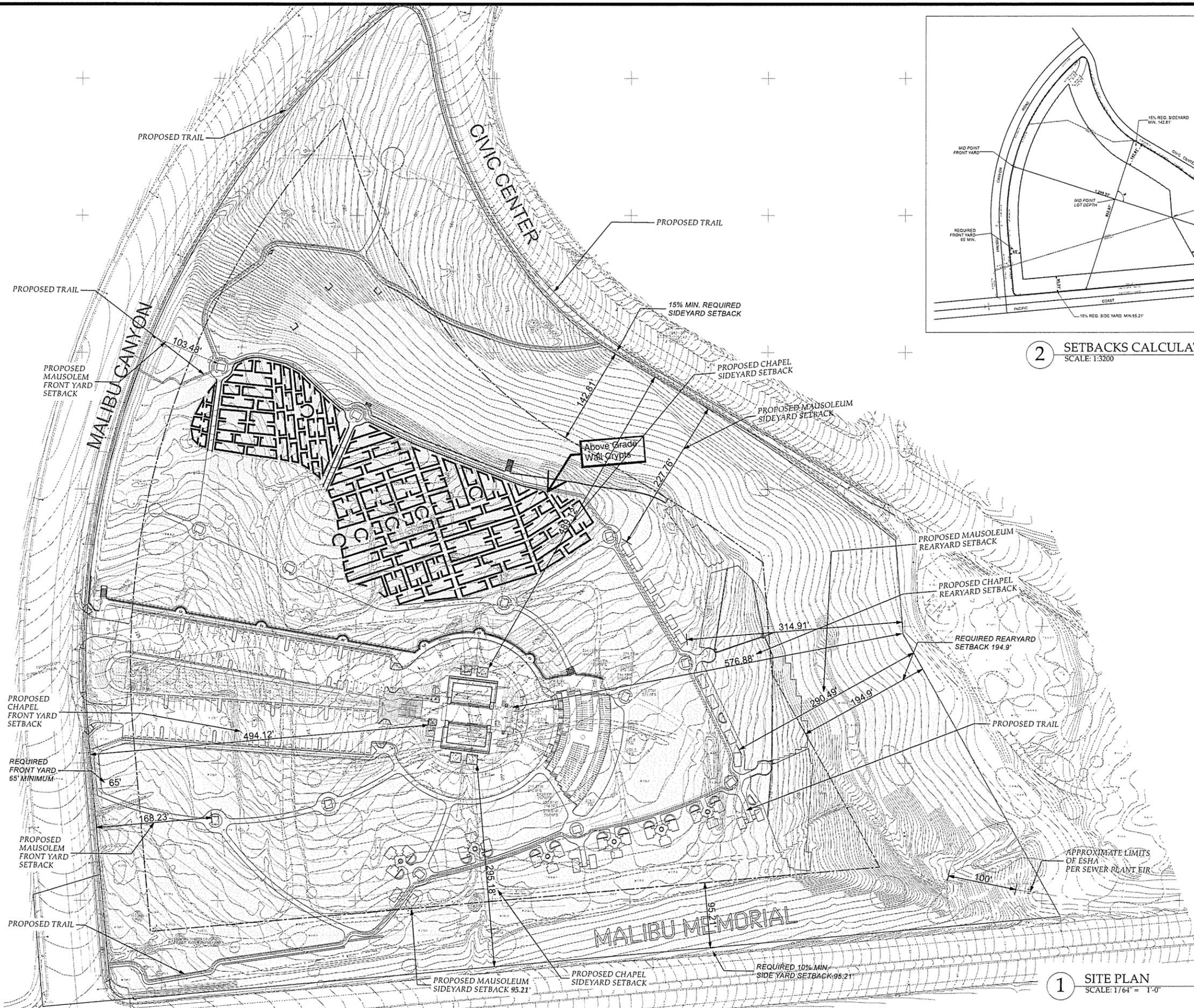
DESCRIPTION:

SITE PLAN OVERVIEW & SETBACKS

DRAWING NO.

A-0.1

PROJECT: 2550 - Malibu Memorial Park  
DATE: Plot Date: 11/23/16  
SCALE: AS NOTED  
DRAWN BY: D.W.B., A.M.



1 SITE PLAN  
SCALE: 1/64" = 1'-0"



# MALIBU MEMORIAL PARK

4000 Malibu Canyon Road  
MALIBU,  
CA 90265

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.

WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

NO	DATE	ISSUE
1	2015-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-12	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS

## BURDGE & Associates ARCHITECTS

MALIBU SUN VALLEY WWW.BUAIA.COM

21235 PACIFIC COAST HWY. MALIBU, CA 90265 TEL. 310-456-5905 480 WASHINGTON AVE. SUITE 204 C KETCHUM, ID 83340 TEL: 208-495-3228

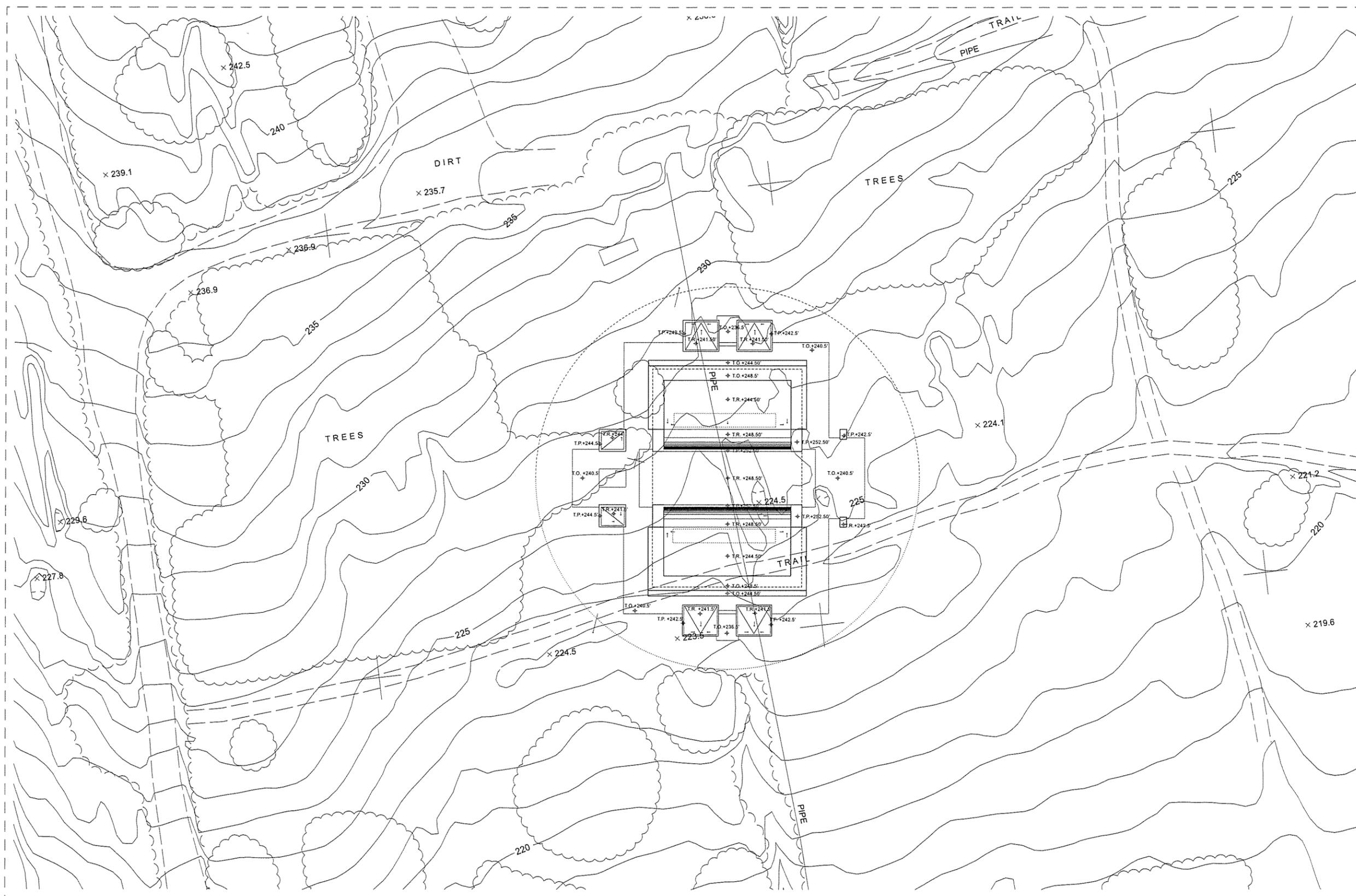
### DESCRIPTION:

TOPOGRAPHIC SURVEY & ROOF PLAN OVERLAY

### DRAWING NO.

**A-0.2**

PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 4/11/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.



### LEGEND

T.O. TOP OVERHANG  
T.P. TOP PARAPET  
T.R. TOP FLAT ROOF

1 SURVEY WITH PROPOSED ROOF PLAN  
SCALE: 1" = 20'





# MALIBU MEMORIAL PARK

4000 Malibu Canyon Road  
MALIBU,  
CA 90265

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.

WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

NO	DATE	ISSUE
1	2015-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-12	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS
5	2016-11-07	SITE WORK MODIFICATIONS

## BURDGE & Associates ARCHITECTS

MALIBU SUN VALLEY WWW.BUAIA.COM

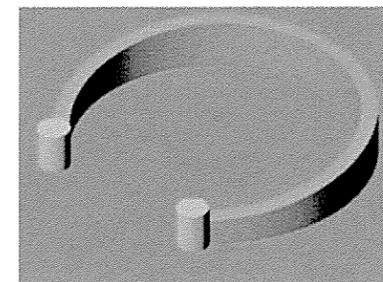
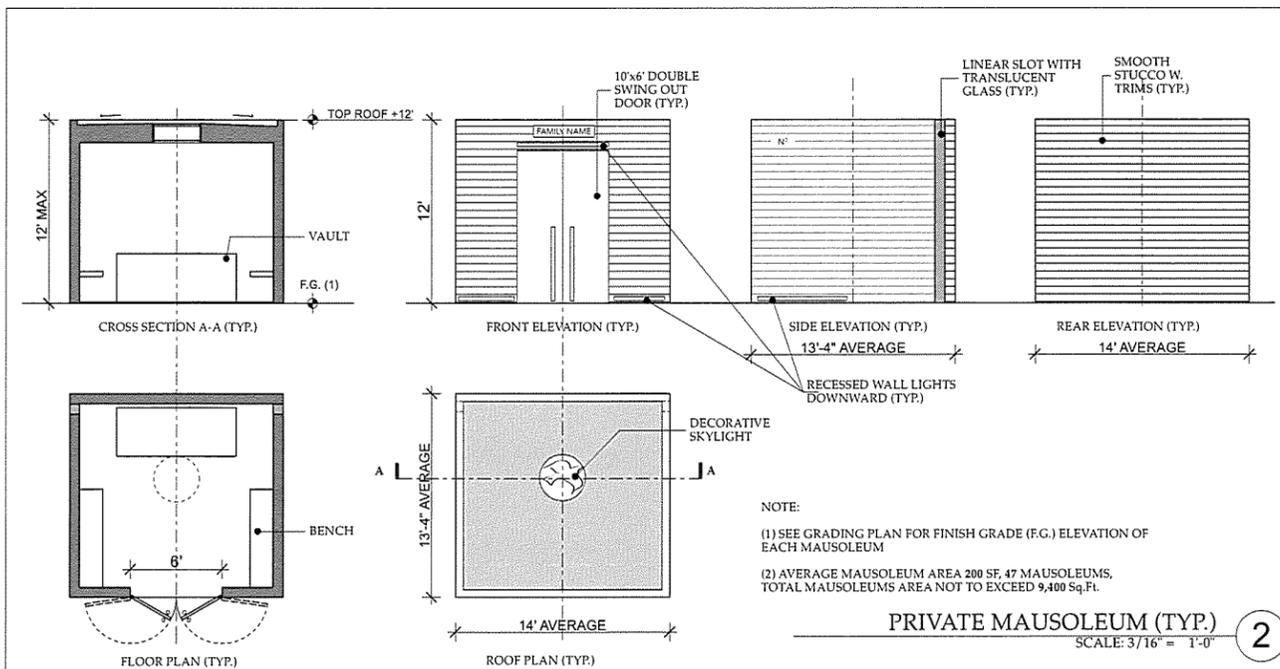
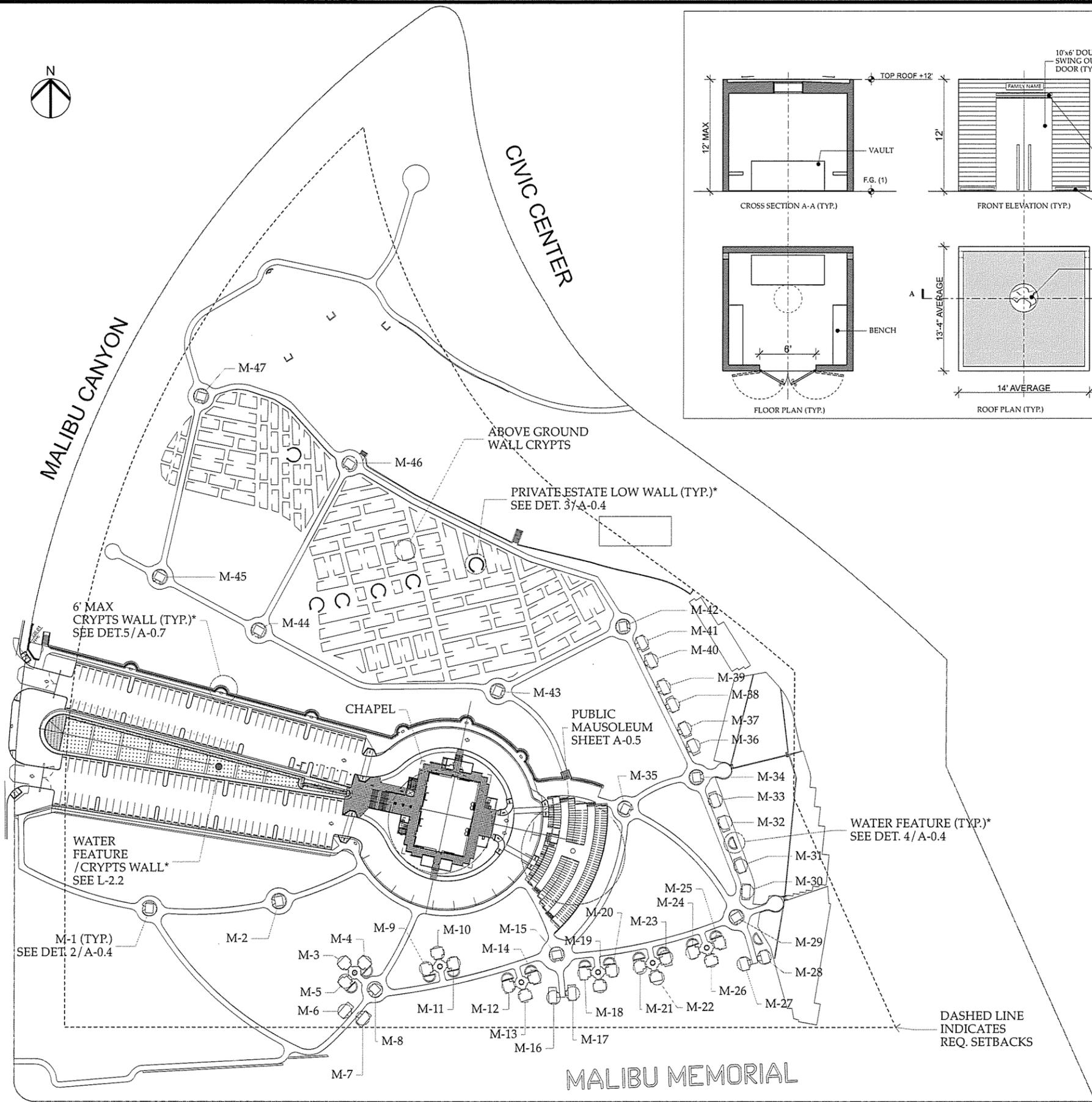
21235 PACIFIC COAST HWY. MALIBU, CA 90265 TEL: 310-456-5905 480 WASHINGTON AVE. SUITE 204 C KETCHIKAN, ID 83340 TEL: 208-495-9228

DESCRIPTION:

### SITE PLAN OVERVIEW & PRIVATE MAUSOLEUMS

DRAWING NO. **A-0.4**

PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 11/23/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.



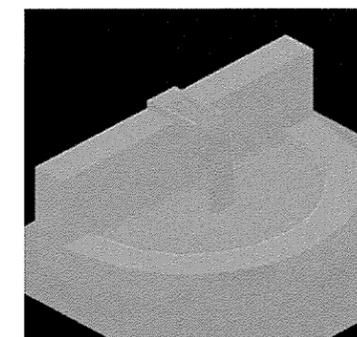
Private Estate

The Private Estate wall is approximately 2' high at entrance and 3 to 3 1/2 feet high at the back. The inside diameter is 17 feet. The wall thickness is 12" to 8" thick. The two columns at the front are 2 foot diameter and are approximately 2 to 3 feet high. The walls can be constructed of split faced block, or else veneer rock covered CMU block. Small statues can be placed on top of the columns. An upright bronze or granite memorial can be installed on the inside wall. The height of the memorial cannot exceed the height of the wall.

The enclosed Private Estate contains 4 pre-installed double depth lawn crypts.

**LOW WALL CRYPT (TYP.)**

NOT TO SCALE 3



Water Feature

The Water Feature is series of cremation niches in a semi-circular wall that is approximately 28" high x 24" wide, and a 14' inside diameter. You can sit on the top of the low curved wall. The area behind the low wall is a pond. The back wall is also a niche wall that is approximately 6' high x 18" wide x 2" thick. A re-circulating pump is installed inside the back wall. The water is pumped off the top of the wall and falls into the pond below, to create a tranquil sound. Small bronze or ceramic plaques can be attached to the face of the niche fronts. The Water Feature is constructed of pre-constructed concrete cremation vaults and surfaced with granite.

**WATER FEATURE (TYP.)**

NOT TO SCALE 4

**CEMETERY PLAN**

SCALE: 1/64" = 1'-0" 1

NOTE:  
-SEE SHEET BP1-0.1 & BP1-0.2 FOR PLOTS LAYOUT \*  
\* DESIGN BY OTHER

# MALIBU MEMORIAL PARK

4000 Malibu Canyon Road  
MALIBU,  
CA 90265

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.

WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

NO	DATE	ISSUE
1	2015-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-12	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-11	INCOMPLETE LETTER #3 CORRECTIONS

## BURDGE & Associates ARCHITECTS

MALIBU SUN VALLEY WWW.BUAIA.COM

21235 PACIFIC COAST HWY. 480 WASHINGTON AVE.  
MALIBU, CA 90265 SUITE 204 C  
TEL. 310-456-9905 KETCHUM, ID 83340  
TEL. 208-495-3228

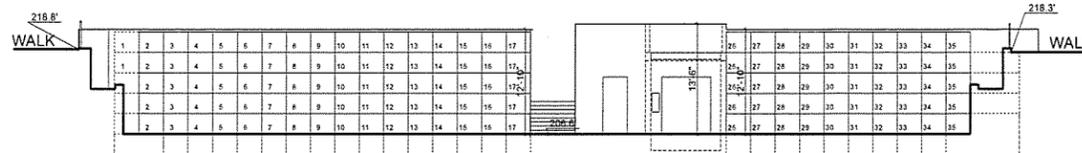
DESCRIPTION:

PUBLIC MAUSOLEUMS

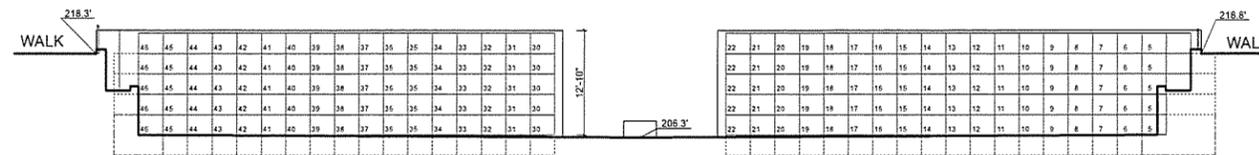
DRAWING NO. **A-0.5**

PROJECT: 2550 - Malibu Memorial Park  
DATE: Plot Date: 4/11/16  
SCALE: AS NOTED  
DRAWN BY: D.W.B., A.M.

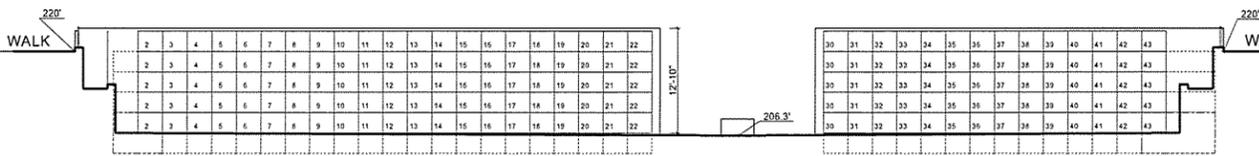
### ELEVATIONS CRYPTS WALL A-D - scale 1"=10'



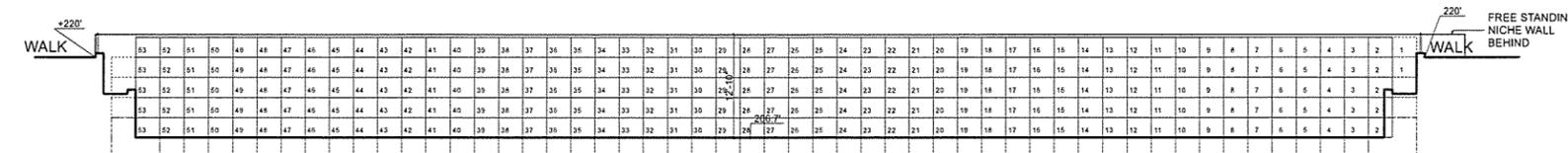
WALL A



WALL B



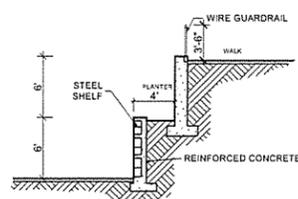
WALL C



WALL D

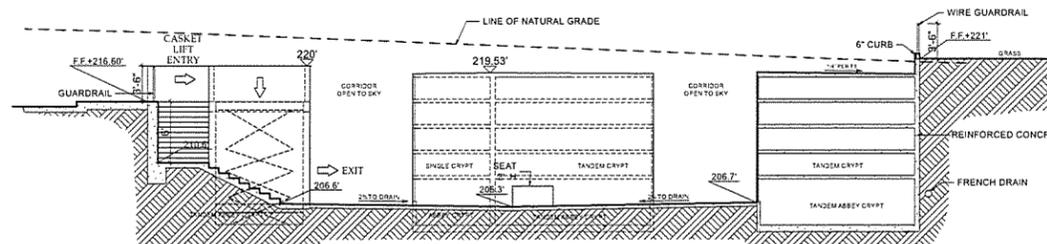
NOTE:

- MAUSOLEUM IS CONSTRUCTED OF REINFORCED CONCRETE.
- MAUSOLEUM IS SURFACED WITH MARBLE OR GRANITE, INCLUDING CRYPT AND NICHE FRONTS.
- FLOOR IS EITHER TERRAZZO OR GRANITE.
- ELEVATOR WILL BE DESIGNED TO LOWER CASKETS FROM WALKWAY TO FLOOR.
- MAUSOLEUM CORRIDORS ARE 10' WIDE.
- SINGLE CRYPTS ARE 3' X 2.5' X 8'
- TANDEM CRYPTS ARE 3' X 2.5' X 16'
- SINGLE COMPANION CRYPTS ARE 6' OR 9' X 2.5' X 8'
- TANDEM COMPANION CRYPTS ARE 6' OR 9' X 2.5' X 16'
- NICHES ARE 1' X 1' X 1'
- PROVIDE GUARDRAIL ALONG ALL THE PERIMETER MIN. 42" HIGH FROM F.G., HANDRAIL MIN. 3" DIA., ANY OPENING MAX. 4" DIA.



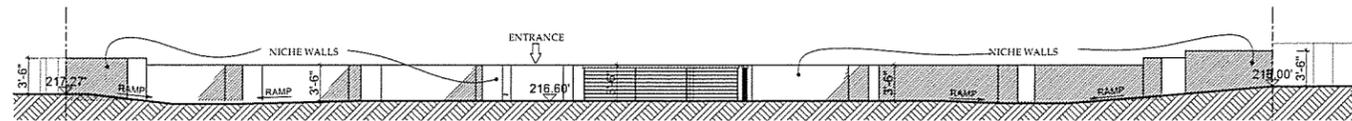
TYP. CORRIDOR NICHE WALL

SECTION B-B (TYP.)



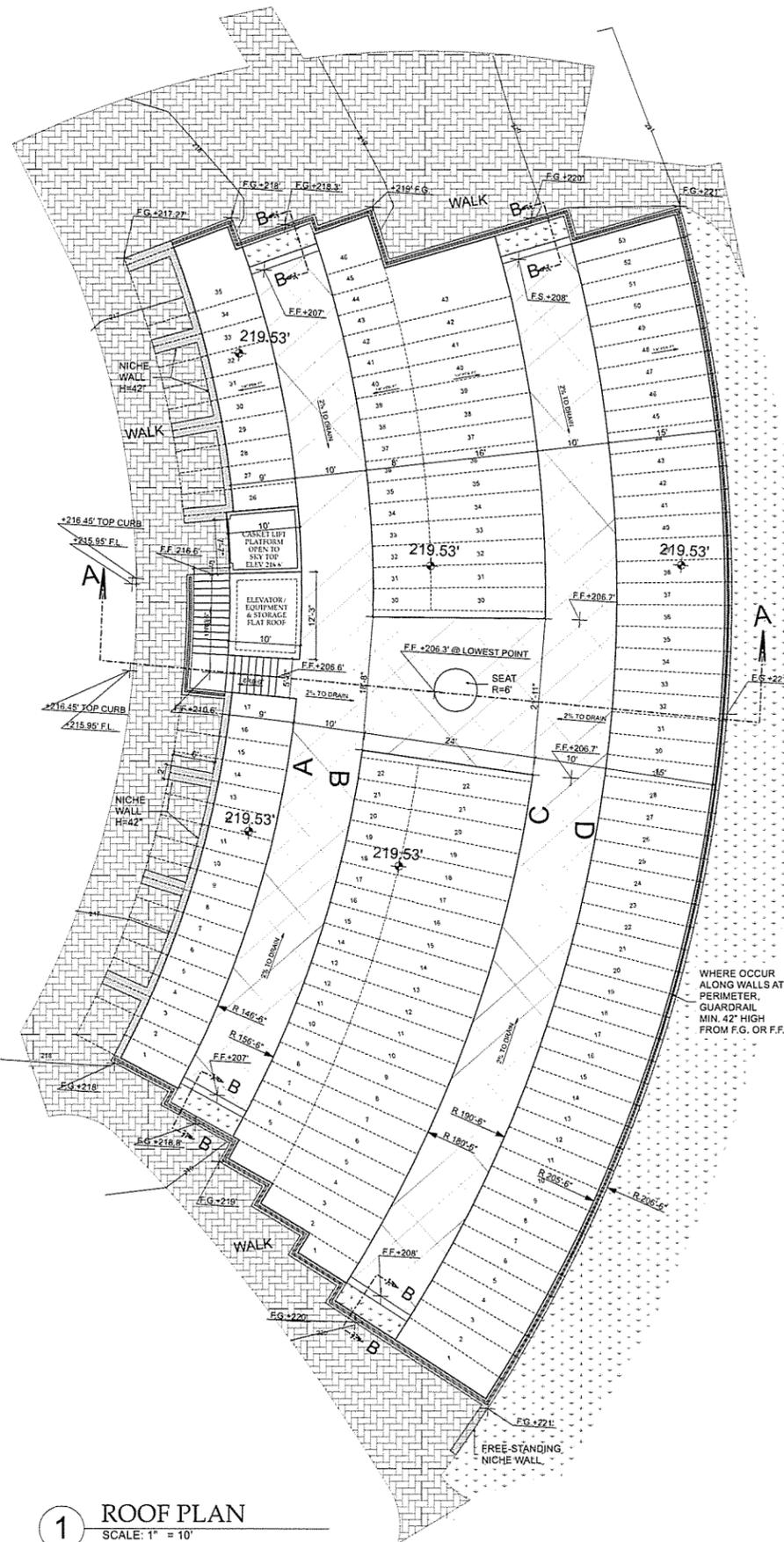
SECTION A-A

SECTIONS  
SCALE: 1/8" = 1'-0" 2



ELEVATION FROM DRIVEWAY AT ENTRANCE

SCALE: 1/8" = 1'-0" 3

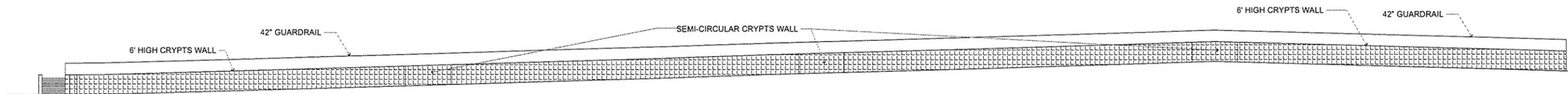


1 ROOF PLAN  
SCALE: 1" = 10'



# MALIBU MEMORIAL PARK

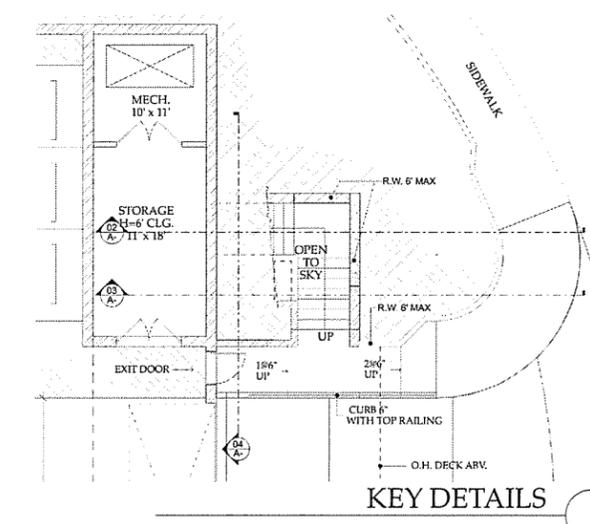
4000 Malibu Canyon Road  
MALIBU,  
CA 90265



ELEVATION AT 6' HIGH CRYPT WALL

5

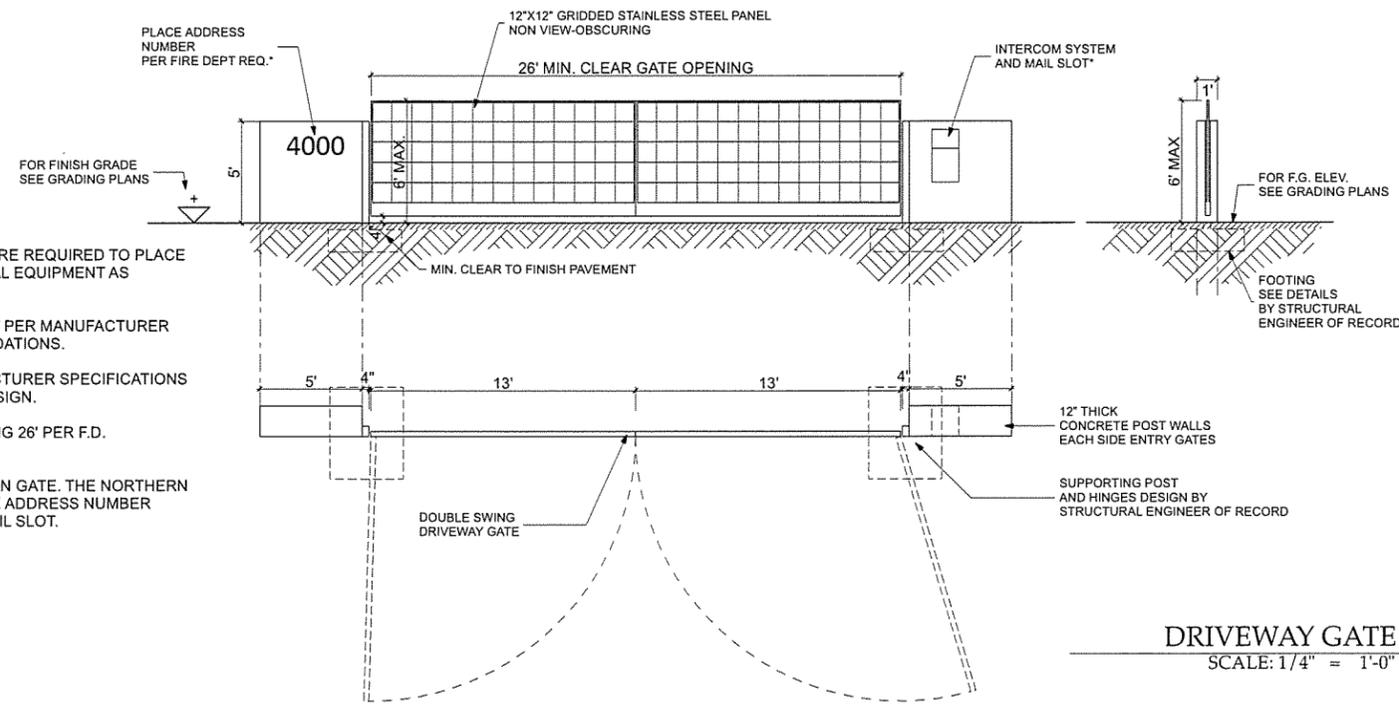
SCALE: 1/16" = 1'-0"



KEY DETAILS

NOTE:

- 1) PROVIDE CONCRETE PAD WHERE REQUIRED TO PLACE GATE OPERATOR AND ELECTRICAL EQUIPMENT AS NEEDED.
  - 2) INSTALL GATE AND EQUIPMENT PER MANUFACTURER SPECIFICATION AND RECOMMENDATIONS.
  - 3) INSTALL HINGES PER MANUFACTURER SPECIFICATIONS AND STRUCTURAL ENGINEER DESIGN.
  - 4) MIN. CLEARANCE GATE OPENING 26' PER F.D. REQUIREMENTS.
- \* ONLY FOR ENTRANCE SOUTHERN GATE. THE NORTHERN EXIT GATE WOULD NOT HAVE THE ADDRESS NUMBER NOR THE INTERCOM SYSTEM /MAIL SLOT.



DRIVEWAY GATE

1

SCALE: 1/4" = 1'-0"

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.

WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

NO.	DATE	ISSUE
1	2013-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-12	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS

## BURDGE & Associates ARCHITECTS

MALIBU SUN VALLEY WWW.BUAIA.COM

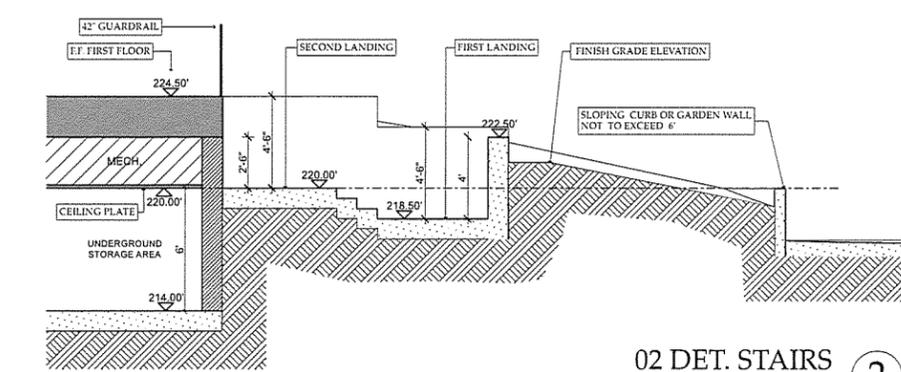
21235 PACIFIC COAST HWY. MALIBU, CA 90265 TEL: 310-456-5905

480 WASHINGTON AVE. SUITE 204 C KETCHUM, ID 83340 TEL: 208-485-3228

DESCRIPTION:  
GATE, STAIRS AND WALL DETAIL

DRAWING NO. **A-0.7**

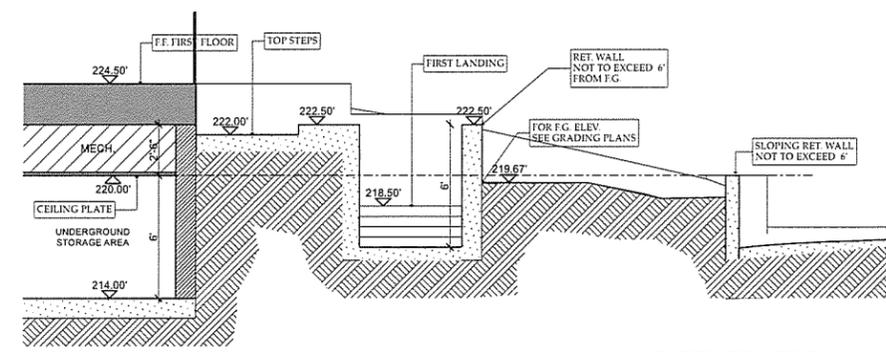
PROJECT: 2550 - Malibu Memorial Park  
DATE: Plot Date: 4/11/16  
SCALE: AS NOTED  
DRAWN BY: D.W.B., A.M.



02 DET. STAIRS

2

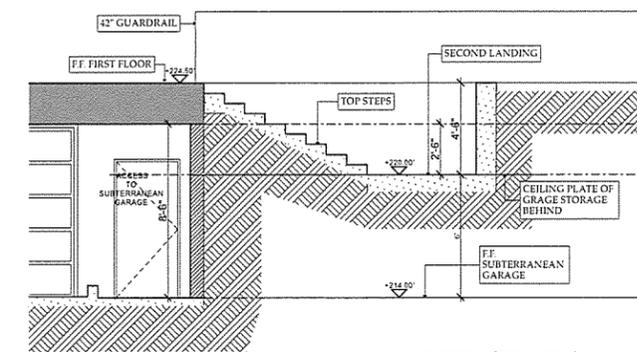
SCALE: 1/4" = 1'-0"



03 DET. STAIRS

3

SCALE: 1/4" = 1'-0"



04 DET. STAIRS

4

SCALE: 1/4" = 1'-0"

MALIBU  
MEMORIAL  
PARK

4000 Malibu Canyon Road  
MALIBU,  
CA 90265

THE DRAWINGS AND SPECIFICATIONS ARE  
THE PROPERTY AND COPYRIGHT OF THE  
ARCHITECT AND SHALL NOT BE USED ON  
ANY OTHER WORK EXCEPT BY WRITTEN  
AGREEMENT WITH THE ARCHITECT.  
  
WRITTEN DIMENSIONS SHALL BE VERIFIED ON  
THE JOB SITE. DISCREPANCIES SHALL  
BE BROUGHT TO THE ATTENTION OF THE  
ARCHITECT PRIOR TO THE  
COMMENCEMENT OF ANY WORK.

NO.	DATE	ISSUE
1	2015-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-18	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS

**BURDGE**  
& Associates  
ARCHITECTS

MALIBU  
SUN VALLEY

WWW.  
BUAIA.COM

21235 PACIFIC COAST HWY. 480 WASHINGTON AVE.  
MALIBU, CA 90265 SUITE 204 C  
TEL. 310-458-5905 KETCHUM, ID 83340  
TEL: 208-495-3228

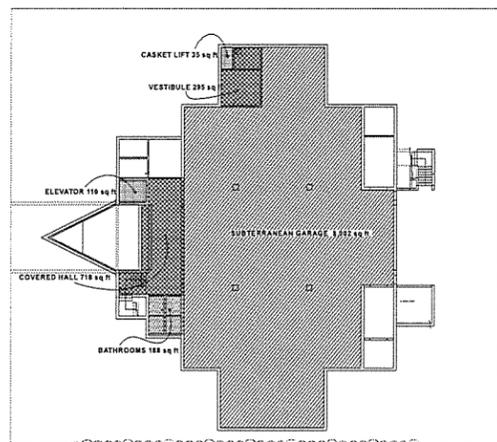
DESCRIPTION:

BASEMENT FLOOR  
PLAN

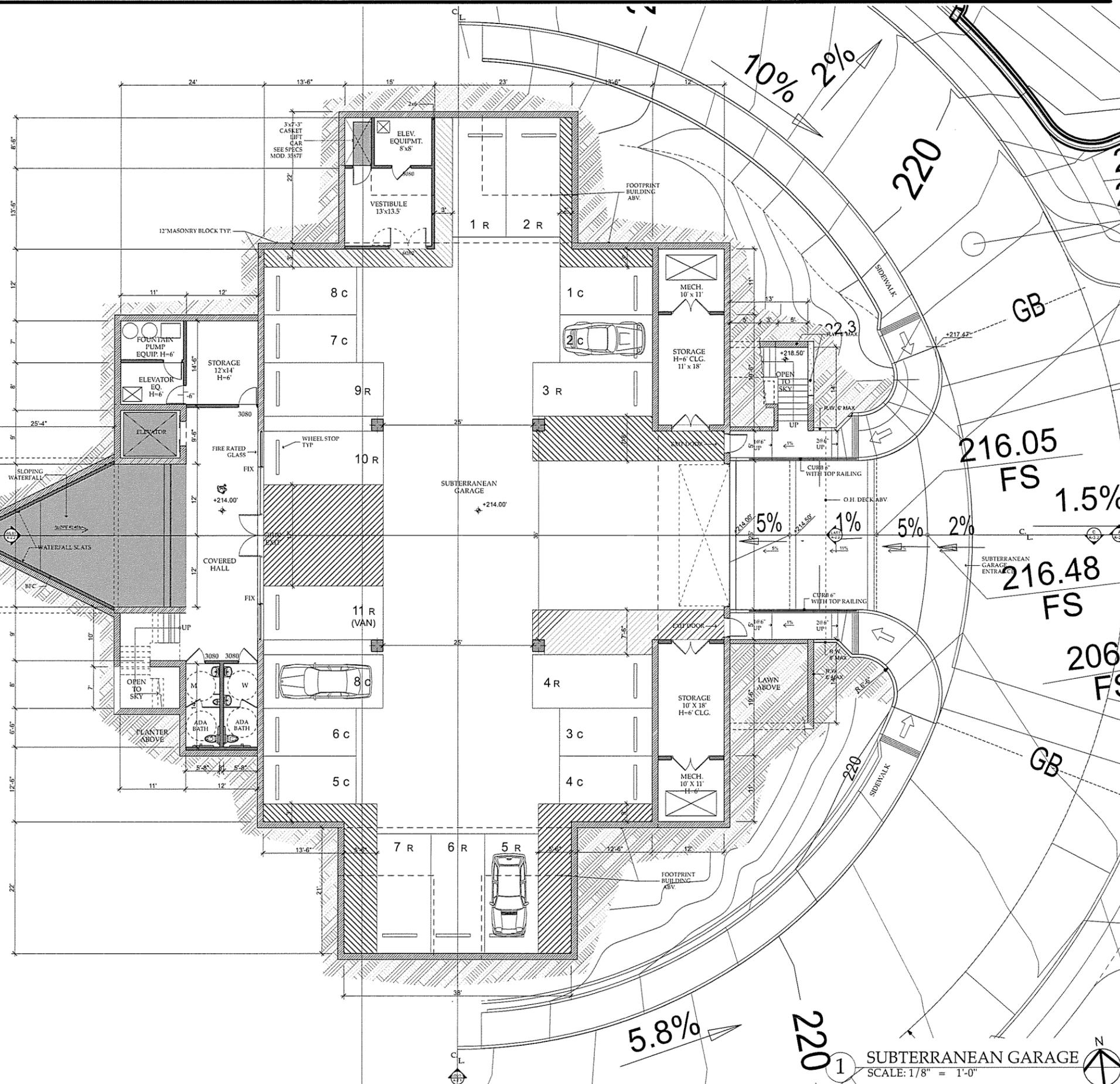
DRAWING NO.

**A-1.1**

PROJECT 2550 - Malibu Memorial Park  
DATE Plot Date: 4/11/16  
SCALE AS NOTED  
DRAWN BY D.W.B., A.M.



2 AREA EXHIBIT  
SCALE: 1" = 30'



1 SUBTERRANEAN GARAGE  
SCALE: 1/8" = 1'-0"

MALIBU  
MEMORIAL  
PARK

4000 Malibu Canyon Road  
MALIBU,  
CA 90265

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.

WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

NO.	DATE	ISSUE
1	2015-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-18	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS

**BURDGE**  
& Associates  
ARCHITECTS

MALIBU SUN VALLEY WWW.BUAIA.COM

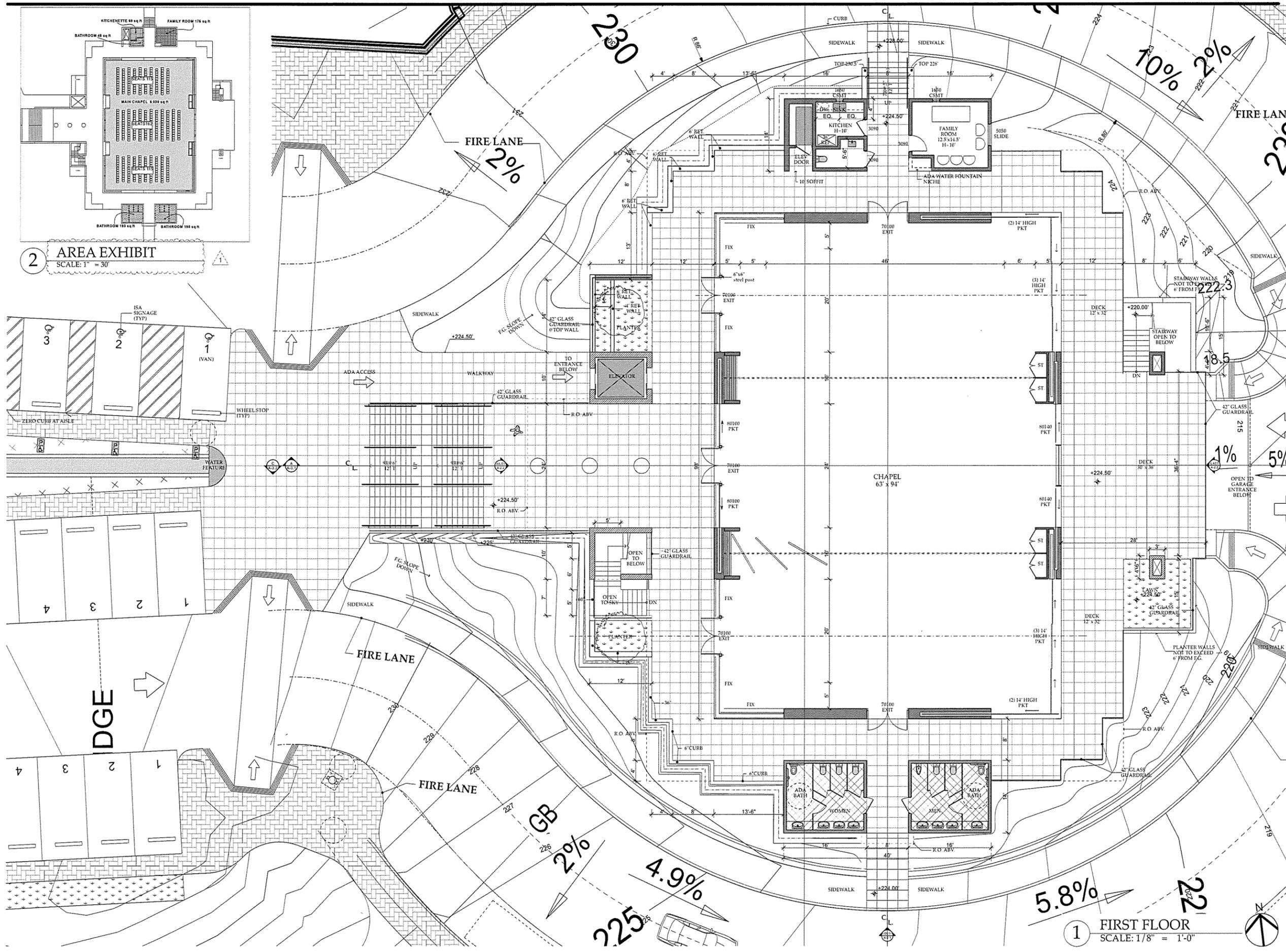
21235 PACIFIC COAST HWY. 480 WASHINGTON AVE. MALIBU, CA 90265 SUITE 204 C TEL: 310-456-5905 KETCHUM, ID 83340 TEL: 208-455-3228

DESCRIPTION:

FIRST FLOOR PLAN

DRAWING NO. **A-1.2**

PROJECT: 2550 - Malibu Memorial Park  
DATE: Plot Date: 4/11/16  
SCALE: AS NOTED  
DRAWN BY: D.W.B., A.M.



2 AREA EXHIBIT  
SCALE: 1" = 30'

1 FIRST FLOOR  
SCALE: 1/8" = 1'-0"

MALIBU  
MEMORIAL  
PARK

4000 Malibu Canyon Road  
MALIBU,  
CA 90265

THE DRAWINGS AND SPECIFICATIONS ARE  
THE PROPERTY AND COPYRIGHT OF THE  
ARCHITECT AND SHALL NOT BE USED ON  
ANY OTHER WORK EXCEPT BY WRITTEN  
AGREEMENT WITH THE ARCHITECT.

WRITTEN DIMENSIONS SHALL BE VERIFIED  
ON THE JOB SITE. DISCREPANCIES SHALL  
BE BROUGHT TO THE ATTENTION OF THE  
ARCHITECT PRIOR TO THE  
COMMENCEMENT OF ANY WORK.

NO	DATE	ISSUE
1	2015-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-18	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS

**BURDGE**  
& Associates  
ARCHITECTS

MALIBU  
SUN VALLEY

WWW.  
BUAIA.COM

21235 PACIFIC COAST HWY. MALIBU, CA 90265  
TEL: 310-458-5905

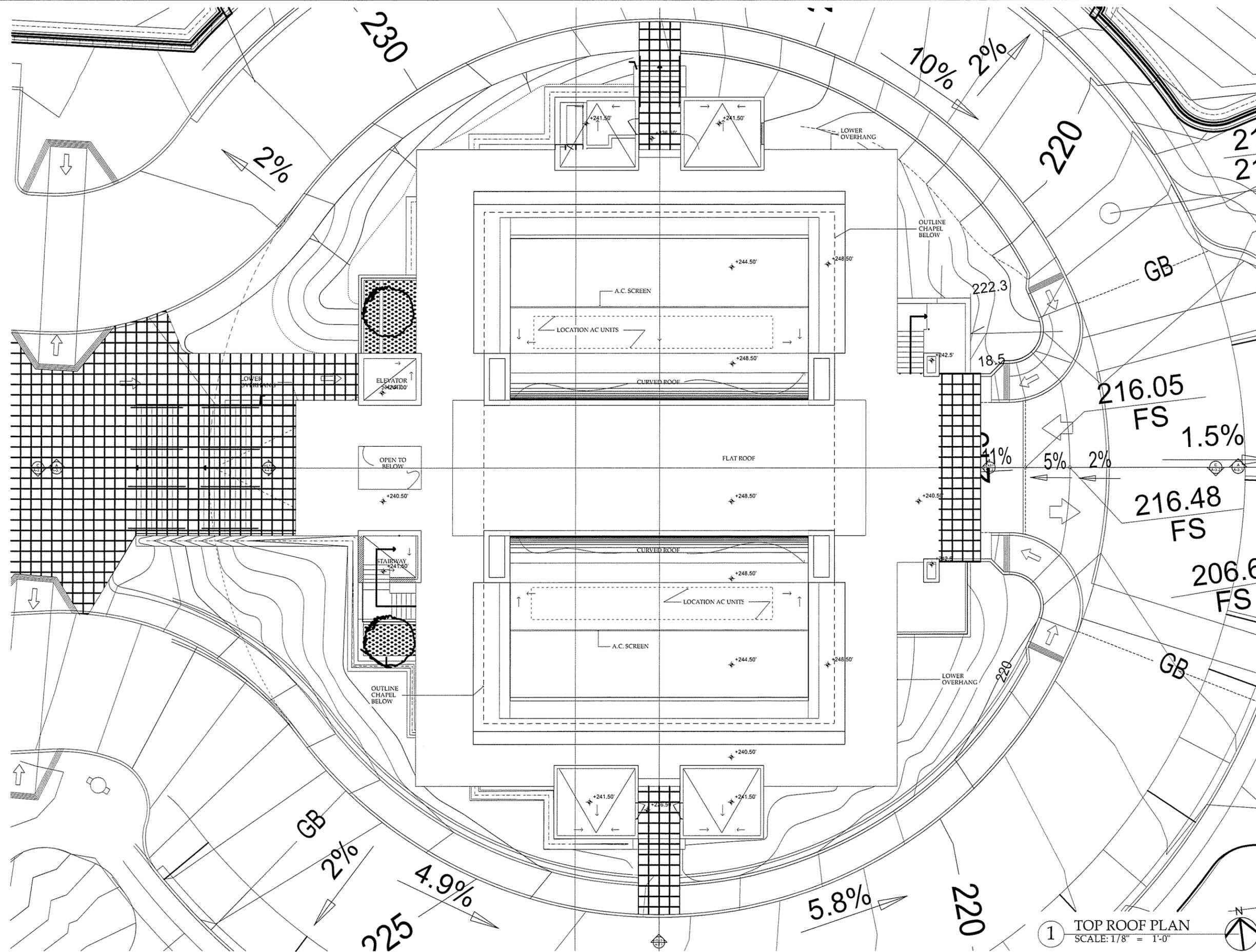
480 WASHINGTON AVE. SUITE 204 C  
KETCHIKAN, ID 83340  
TEL: 208-495-9228

DESCRIPTION:

ROOF PLAN

DRAWING NO.  
**A-1.3**

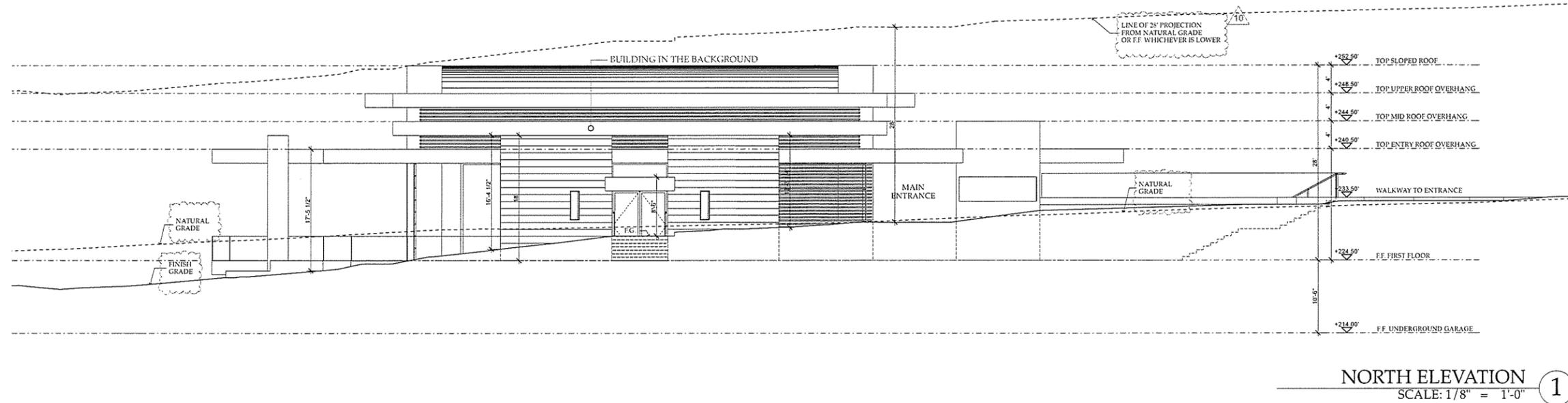
PROJECT: 2550 - Malibu Memorial Park  
DATE: Plot Date: 4/11/16  
SCALE: AS NOTED  
DRAWN BY: D.W.B., A.M.



1 TOP ROOF PLAN  
SCALE: 1/8" = 1'-0"

# MALIBU MEMORIAL PARK

4000 Malibu Canyon Road  
MALIBU,  
CA 90265

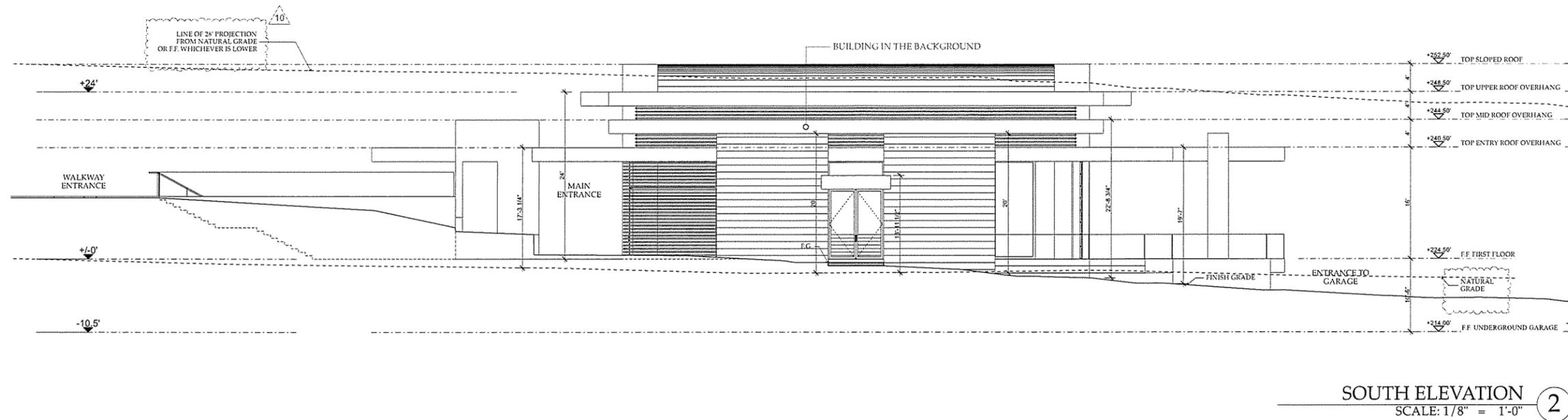


NORTH ELEVATION ①  
SCALE: 1/8" = 1'-0"

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.

WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

NO	DATE	ISSUE
①	2015-4-28	INITIAL PLANNING SUBMITTAL
②	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
③	2016-02-12	INCOMPLETE LETTER #2 CORRECTIONS
④	2016-04-11	INCOMPLETE LETTER #3 CORRECTIONS



SOUTH ELEVATION ②  
SCALE: 1/8" = 1'-0"

**BURDGE & Associates**  
ARCHITECTS  
MALIBU SUN VALLEY WWW.BUAIA.COM

21235 PACIFIC COAST HWY. MALIBU, CA 90265 TEL: 310-456-5905  
480 WASHINGTON AVE. SUITE 204 C KETCHIKAN, ID 83340 TEL: 208-455-3228

DESCRIPTION:  
PROPOSED ELEVATIONS NORTH & SOUTH

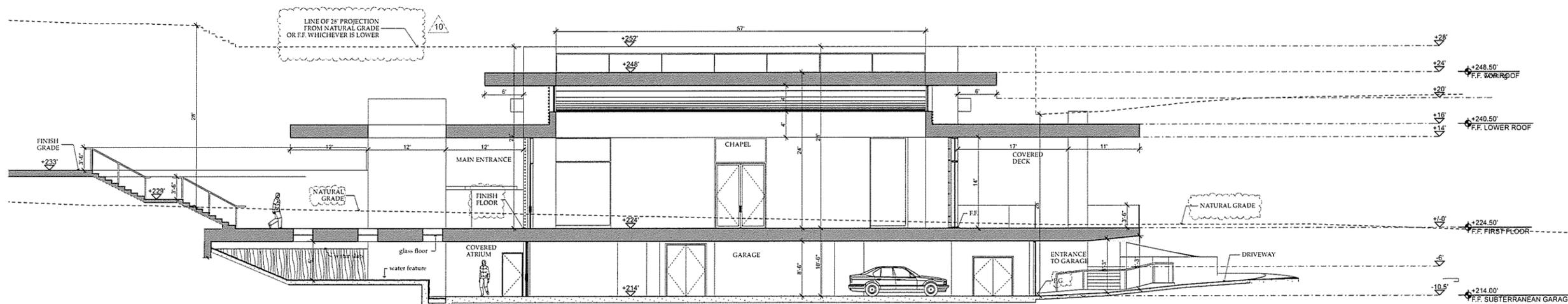
DRAWING NO. **A-2.1**

PROJECT : 2550 - Malibu Memorial Park  
DATE : Plot Date: 4/11/16  
SCALE : AS NOTED  
DRAWN BY : D.W.B., A.M.



# MALIBU MEMORIAL PARK

4000 Malibu Canyon Road  
MALIBU,  
CA 90265

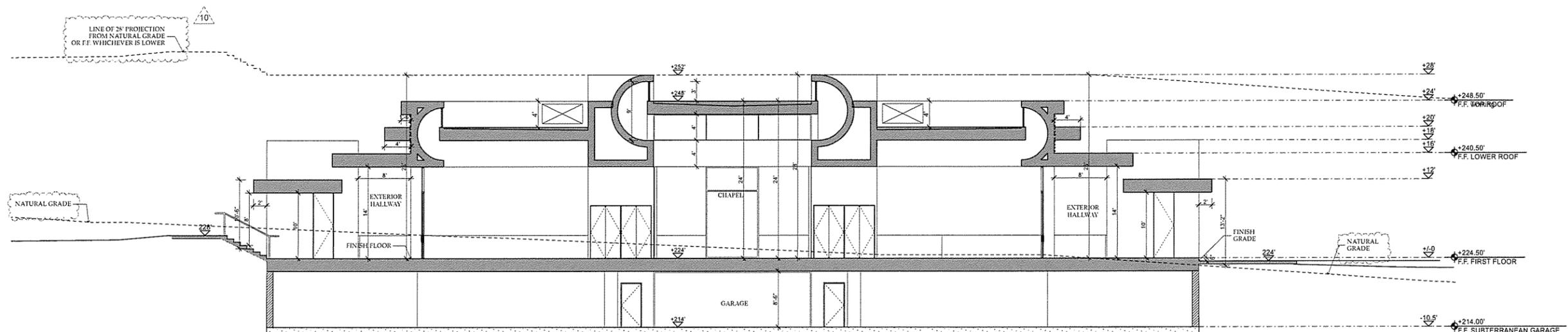


**A-A SECTION** 1  
SCALE: 1/8" = 1'-0"

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.

WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

NO.	DATE	ISSUE
1	2015-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-13	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS



**B-B SECTION** 2  
SCALE: 1/8" = 1'-0"

**BURDGE**  
& Associates  
ARCHITECTS

MALIBU  
SUN VALLEY

WWW.  
BUAIA.COM

21235 PACIFIC COAST HWY. MALIBU, CA 90265  
TEL: 310-456-5905

480 WASHINGTON AVE. SUITE 204 C  
KETCHUM, ID 83340  
TEL: 208-495-3228

DESCRIPTION:

PROPOSED SECTIONS  
A-A & B-B

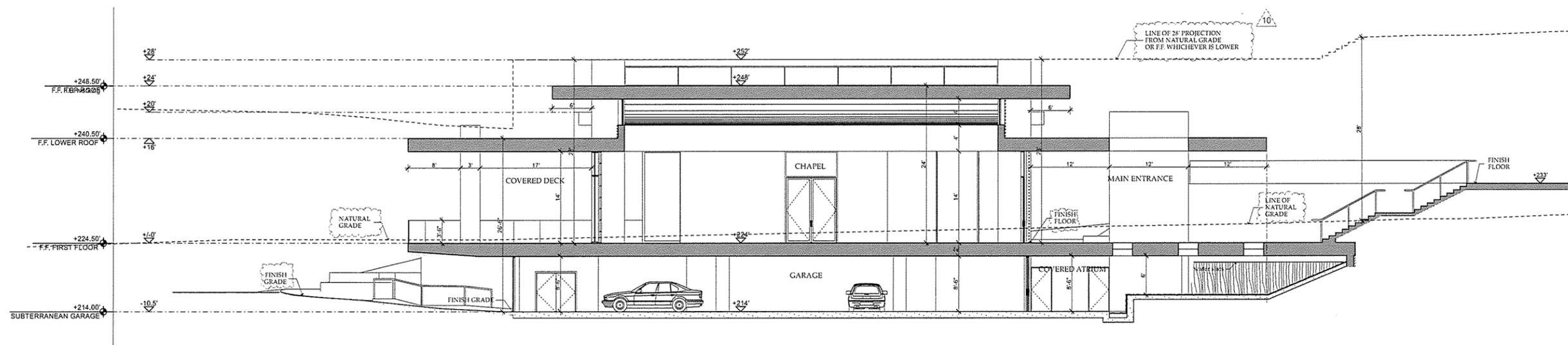
DRAWING NO.

**A-3.1**

PROJECT: 2550 - Malibu Memorial Park  
DATE: Plot Date: 4/11/16  
SCALE: AS NOTED  
DRAWN BY: D.W.B., A.M.

# MALIBU MEMORIAL PARK

4000 Malibu Canyon Road  
MALIBU,  
CA 90265

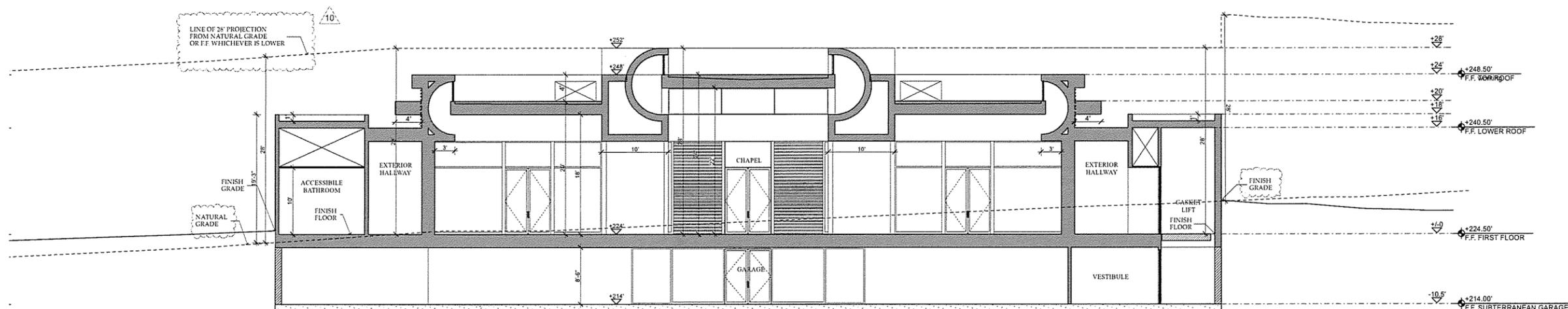


C-C SECTION 1  
SCALE: 1/8" = 1'-0"

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.

WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

NO.	DATE	ISSUE
1	2015-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-12	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS



D-D SECTION 2  
SCALE: 1/8" = 1'-0"

**BURDGE & Associates**  
ARCHITECTS  
MALIBU SUN VALLEY WWW.BUAIA.COM

21235 PACIFIC COAST HWY. SUITE 204 C MALIBU, CA 90265 TEL: 310-450-5905 480 WASHINGTON AVE. KETCHUM, ID 83340 TEL: 208-495-3228

DESCRIPTION:

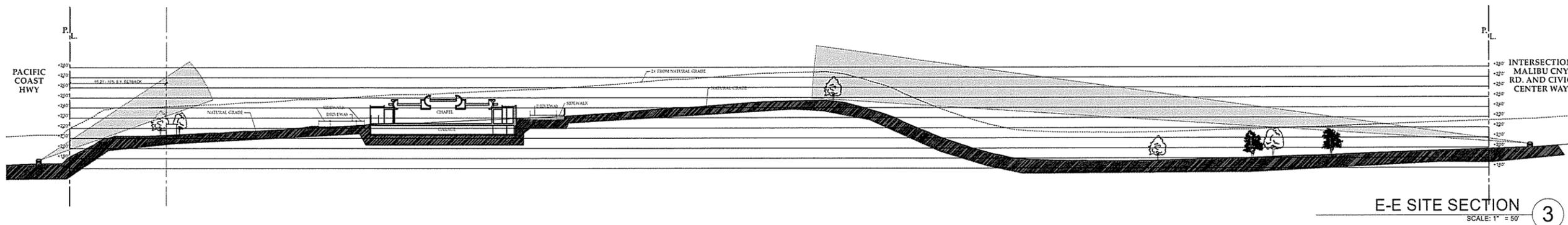
PROPOSED SECTIONS  
C-C & D-D

DRAWING NO. **A-3.2**

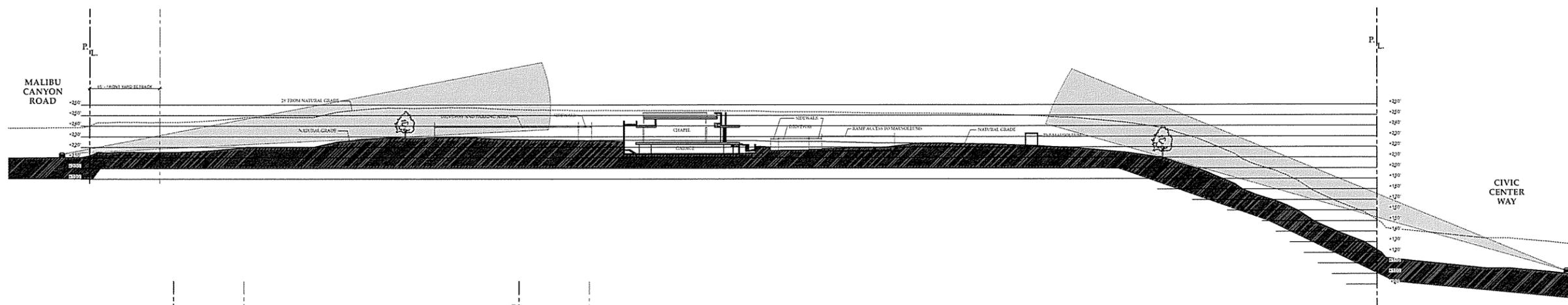
PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 4/11/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.

# MALIBU MEMORIAL PARK

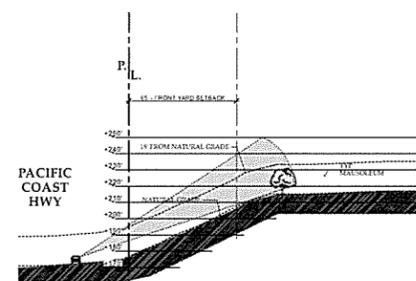
4000 Malibu Canyon Road  
MALIBU,  
CA 90265



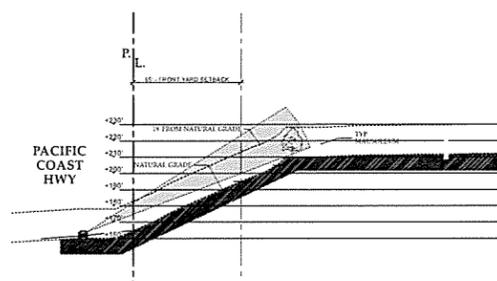
E-E SITE SECTION 3  
SCALE: 1" = 50'



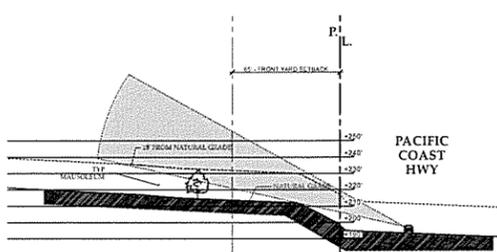
F-F SITE SECTION 2  
SCALE: 1" = 50'



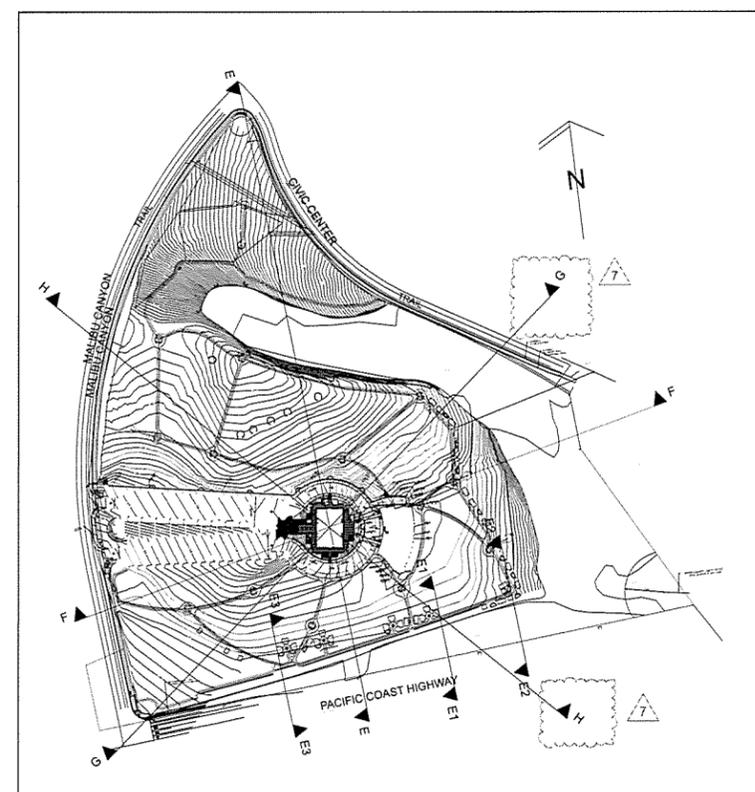
E1 SITE SECTION 4  
SCALE: 1" = 50'



E2 SITE SECTION 5  
SCALE: 1" = 50'



E3 SITE SECTION 6  
SCALE: 1" = 50'



SITE PLAN- KEY SECTIONS 1  
SCALE: 1" = 200'

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.

WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

NO	DATE	ISSUE
1	2015-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-15	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS

**BURDGE & Associates**  
ARCHITECTS  
MALIBU SUN VALLEY WWW.BUAIA.COM

21255 PACIFIC COAST HWY. MALIBU, CA 90265 TEL. 310-456-5905  
480 WASHINGTON AVE. SUITE 204 C KETCHUM, ID 83340 TEL. 208-495-9228

DESCRIPTION:  
SITE SECTIONS E-E & F-F

DRAWING NO. **A-3.3**

PROJECT : 2550 - Malibu Memorial Park  
DATE : Plot Date: 4/11/16  
SCALE : AS NOTED  
DRAWN BY : D.W.B., A.M.

# MALIBU MEMORIAL PARK

4000 Malibu Canyon Road  
MALIBU,  
CA 90265

THE DRAWINGS AND SPECIFICATIONS ARE  
THE PROPERTY AND COPYRIGHT OF THE  
ARCHITECT AND SHALL NOT BE USED ON  
ANY OTHER WORK EXCEPT BY WRITTEN  
AGREEMENT WITH THE ARCHITECT.

WRITTEN DIMENSIONS SHALL BE VERIFIED  
ON THE JOB SITE. DISCREPANCIES SHALL  
BE BROUGHT TO THE ATTENTION OF THE  
ARCHITECT PRIOR TO THE  
COMMENCEMENT OF ANY WORK.

NO	DATE	ISSUE
1	2015-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-12	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS

## BURDGE & Associates ARCHITECTS

MALIBU  
SUN VALLEY

WWW.  
BUAIA.COM

21235 PACIFIC COAST HWY. MALIBU, CA 90265  
TEL: 310-456-5905

480 WASHINGTON AVE. SUITE 204 C KETCHUM, ID 83340  
TEL: 208-495-3228

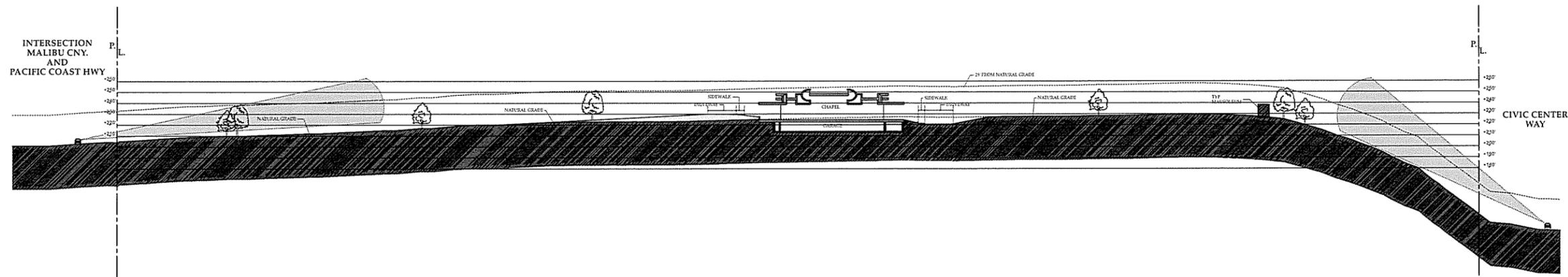
DESCRIPTION:

SITE SECTIONS G-G &  
H-H

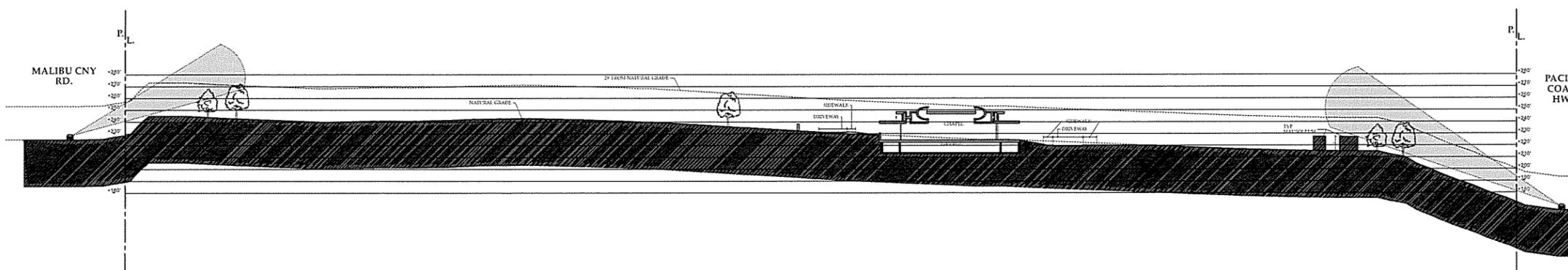
DRAWING NO.

### A-3.4

PROJECT : 2550 - Malibu Memorial Park  
DATE : Plot Date: 4/11/16  
SCALE : AS NOTED  
DRAWN BY : D.W.B., A.M.



G-G SITE SECTION 1  
SCALE: 1" = 50'



H-H SITE SECTION 2  
SCALE: 1" = 50'

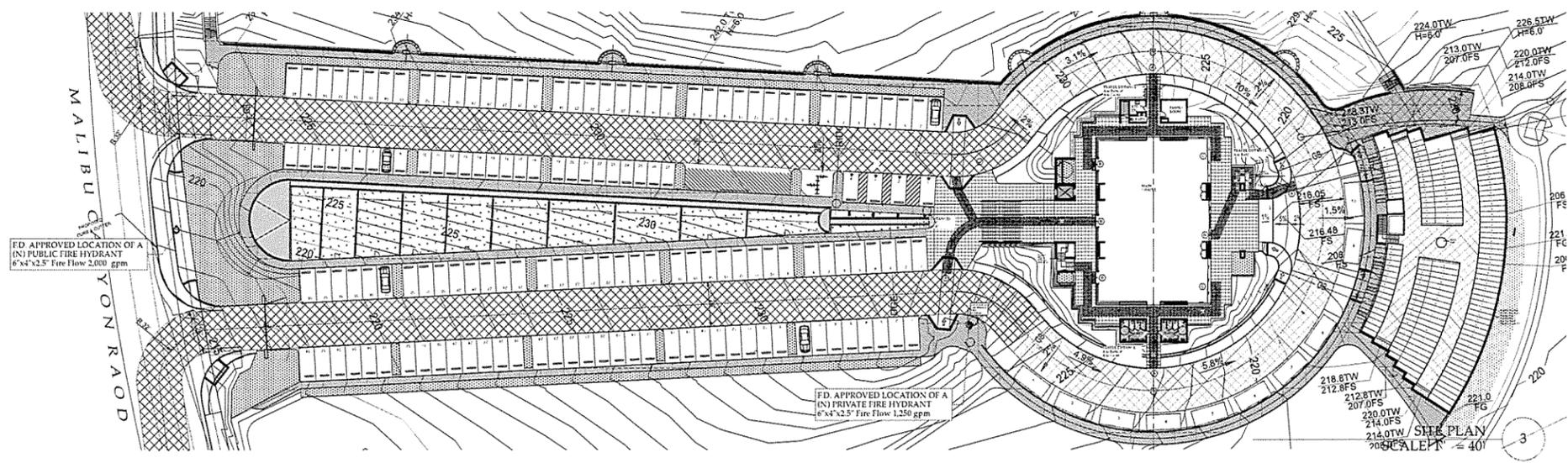




**PROJECT ADDRESS:** 4000 Malibu Canyon Road  
 Malibu, CA 90265  
**A.P.N.:** 4458 030 007- 4458 028 015 - 4458 028 019  
**LCP ZONING:** Pending City determination  
**OWNER:** Green Acres, LLC  
 a California Limited Liability Company  
 22837 Pacific Coast Highway #775, Malibu, CA 90265  
**OCCUPANCY GROUP:** See chart below. **TYPE OF CONSTRUCTION:** VB  
**NUMBER OF STORIES:** Chapel 1 + Subterranean garage, Mausoleum 1  
**FIRE ZONE:** VHFHSZ  
**SPRINKLERED:** YES (Sprinklered per L.A.Co. Fire Departments Requirement)  
**LOT AREA:** Gross: 1,228,908 Sq.Ft. (28.2 Acres)  
 Net: 1,210,968 Sq.Ft. (27.8 Acres)

**FIRE DEPT. NOTES:**

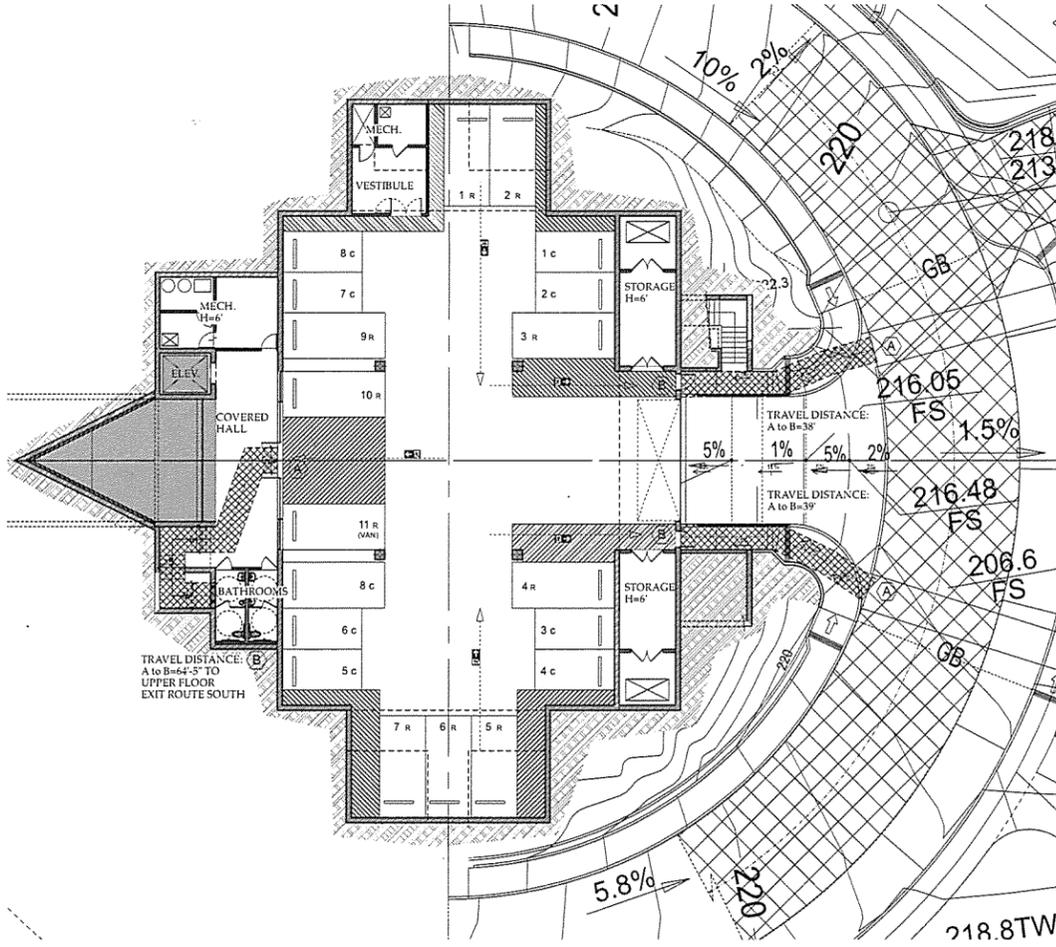
- 1) Provide approved signs or other approved notices or markings that include the words NO PARKING - FIRE LANE. Signs shall have a minimum dimension of 12 inches wide by 18 inches high and have red letters on a white reflective background. Signs shall be provided for fire apparatus access roads, to clearly indicate the entrance for such road or prohibit the obstruction thereof and at intervals, as required by Fire Inspector. Fire Code 503.3
- 2) When security gates are provided, maintain a minimum access width of 26 feet. The security gate shall be provided with an approved means of emergency operation, and shall be maintained operational at all time and replaced or repaired when defective. Electric gate operators, where provided, shall be constructed and installed to comply with the requirements of ASTM F220. Gates shall be of the swinging or sliding type. Construction of gates shall be of materials that allow manual operation by one person. Fire Code 503.6
- 3) Fire Flow requirements calculation:  
 Type of construction per Building Code: Type VB  
 Fire flow calculation area: Area 17,000 sq.ft.  
 Fire flow based on the fire flow calculation area: 3,500 gpm  
 Reductions for fire sprinklers (maximum 50%): 1,500 gpm  
 Total fire flow required: 2,000 gpm
- 4) Provide an approved automatic fire sprinkler system as set forth by Building Code 903 and Fire Code 903. Plans shall be submitted to the Sprinkler Plan Check Unit for review and approval prior installation.  
 Reason fire Code 903 & fire flow reduction  
 Type of fire sprinkler system 903.3.1.1, 903.3.1.2, 903.3.1.3.



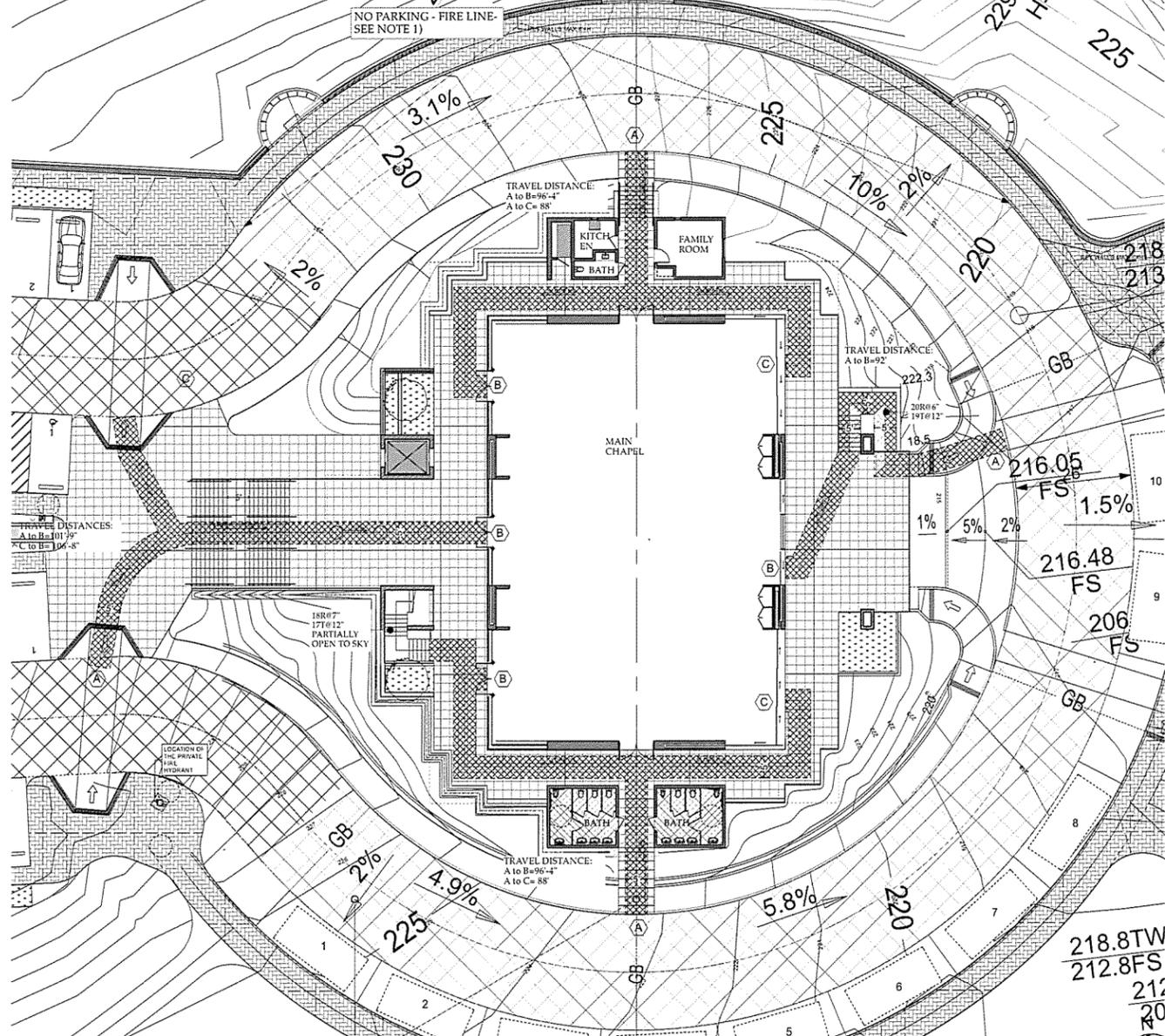
**Occupancy classifications [CBC Chapter 3, Building Code 302.1]:**

A-3	Main Chapel	6,566 S.F.
A-3	Accessory rooms: Family, Kitchen, Vestibule Bathrooms	516 S.F. 691 S.F. 718 S.F. 914 S.F.
S-1	Covered Hall	384 S.F.
S-2	Mechanical rooms & elevators	8,037 S.F.
S-2	Subterranean Garage	

**Detached Buildings:**  
 U 48 free-standing Mausoleums of average 187 Sq.Ft. each. Tot. 9,000 S.F.



**SUBTERRANEAN GARAGE**  
 SCALE: 1/16" = 1'-0"



**FIRST FLOOR**  
 SCALE: 1/16" = 1'-0"

**MALIBU  
 MEMORIAL  
 PARK**

4000 Malibu Canyon Road  
 MALIBU,  
 CA 90265

THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.

WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

NO	DATE	ISSUE
1	2015-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-12	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS

**BURDGE  
 & Associates  
 ARCHITECTS**

MALIBU SUN VALLEY WWW.BUAIA.COM

21235 PACIFIC COAST HWY. MALIBU, CA 90265 TEL. 310-456-5905

480 WASHINGTON AVE. SUITE 204 C KETCHUM, ID 83340 TEL. 208-495-9228

**DESCRIPTION:**  
 FIRE DEPARTMENT ACCESS

**DRAWING NO. FD-01**

**PROJECT:** 2550 - Malibu Memorial Park  
**DATE:** Plot Date: 4/11/16  
**SCALE:** AS NOTED  
**DRAWN BY:** D.W.B., A.M.

# GRADING AND DRAINAGE PLAN

## NOTICE TO CONTRACTORS

### GRADING NOTES

- ALL GRADING NOTES SHALL COMPLY WITH UBC CHAPTERS 18.03.33 AND AFFENDRICH CHAPTER 13. A CITY GRADING PERMIT IS REQUIRED FOR GRADING.
- GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE STARTING GRADING WITH THE FOLLOWING PERSONS PRESENT: CONTRACTOR, DESIGN CIVIL ENGINEER, GEOTECHNICAL ENGINEER, GRADING INSPECTOR AND WHEN NECESSARY THE ARCHITECT AND PAINTER. THE REQUIRED INSPECTORS FOR GRADING WILL BE EXPLAINED IN THIS MEETING.
- AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
- THE DESIGN CIVIL ENGINEER SHALL BE AVAILABLE DURING THE GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND SPECIAL CONDITIONS OF THE PERMIT WITHIN HIS JURISDICTION.
- COMPLETE REPORT AND MAP UPON COMPLETION OF ROUGH GRADING. THE CONTRACTING REPORT AND APPROVAL FROM THE GEOTECHNICAL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. EACH TEST SHALL BE IDENTIFIED WITH THE METHOD OF OBTAINING THE IN-PLACE DENSITY, WHETHER SAND CONE OR NUCLEAR AND SHALL BE SO NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
- CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
- FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE DENSITY. AGGREGATE BASE FOR ASPHALT AREAS SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE DENSITY. MAXIMUM DENSITY SHALL BE DETERMINED BY UNIFORM BUILDING CODE 7-101 OR APPROVED EQUIVALENT, AND FIELD DENSITY BY UNIFORM CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT.
- THE CONTRACTOR SHALL NOT CREATE ANY TRENCH OR EXCAVATION 5 FEET OR DEEPER WITHOUT NECESSARY PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE GEOTECHNICAL ENGINEER TO DETERMINE IF ANY SLOPE STABILITY PROBLEMS EXIST. SHOWN EXCAVATIONS, EXISTING AND PROPOSED, SHALL BE IDENTIFIED AS TO GEOLOGICAL HAZARDS. THE GEOTECHNICAL ENGINEER SHALL SUBMIT RECOMMENDATIONS TO THE DESIGNER FOR APPROVAL.
- THE DESIGNER IS RESPONSIBLE FOR DUST CONTROL MEASURES. WATER ACTIVE SITE AT LEAST TWICE DAILY.
- THE LOCATING AND PROTECTION OF ALL EXISTING UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- GRADING OPERATION INCLUDING MAINTENANCE OF EQUIPMENT WITHIN ONE HALF MILE OF HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 8:00 P.M. AND 6:00 A.M.
- THE PERMITTEE SHALL GIVE REASONABLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDING PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE STABILITY AND SUBSEQUENT SUPPORT OF ADJACENT STRUCTURES. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION SHALL BE COMPLETED. THE ADJOINING OWNER SHALL BE ADVISED AT LEAST 10 DAYS AND REASONABLE ACCESS TO THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
- ALL EXISTING DRAINAGE COURSES THROUGH THE SITE SHALL REMAIN OPEN TO HANDLE THE STORM WATER. HOWEVER, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- APPROVED EROSION PROTECTION DEVICES SHALL BE PROVIDED AND MAINTAINED DURING THE EARLY SEASON BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR AND SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK. PROPER EROSION CONTROL MEASURES MUST BE SHOWN ON THE PLANS.
- FOUNDATION SITES SHALL BE MAINTAINED IN SUCH A MANNER THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITES.
- DISCHARGES OF MATERIAL OTHER THAN STORM WATER ARE ALLOWED ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHEN THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD, CALIFORNIA OR FEDERAL, THAT CAUSE POLLUTION, CONTAMINATION, OR OBSTRUCTION OF ANY WATERWAY OR HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR 117 AND 302.
- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS, WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LUMES, SURFACED, HERBICIDES, INSECT PREVENTIVES AND SOLVENTS, ADHESIVES, FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS, FUELS, OILS, LUBRICANTS, AND SOLVENTS. RADIATION OR RADIOACTIVE MATERIALS, HAZARDOUS WASTE, WASH WATER AND CONCRETE WASH WATER AND CONCRETE, OILS OR FLUORIDE WASTES, WASTES FROM AN ENGINE EQUIPMENT CLEANING OR CHEMICAL, DEGREASING, AND OTHER CHLORINATED POTABLE WATER LINE FLUSHINGS.
- DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SEPARATED AND CONTROLLED TEMPORARY AREA. SUCH DISPOSAL SHALL BE ARRANGED FROM POTENTIAL STORM WATER RUN-OFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- DECONTAMINATION OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOLS VIA SURFACE DRAINAGE IS PROHIBITED. DRAINAGE OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM UNDER THE FEDERAL CLEAN WATER ACT. REGIONAL WATER QUALITY CONTROL BOARD.
- ALL DIRT, SAND, MUD, OR SOLIDS EXPOSED OR SPILLED UPON PUBLIC STREETS DURING ANY GRADING, MAINTENANCE, OR EXPORT OPERATIONS SHALL BE IMMEDIATELY CLEANED UP BY THE DEVELOPER, HIS CONTRACTOR, SUBCONTRACTOR, OR AGENTS BY THE SATISFACTION OF THE CITY ENGINEER. FAILURE TO DO SO WILL CAUSE FOR STOPPING ALL SUCH GRADING, MAINTENANCE, OR EXPORT WORK BY THE CITY UNTIL ALL SUCH DIRT IS CLEANED.
- ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHOULD MAINTAIN AT LEAST TWO FEET OF FREEDOM IN ACCORDANCE WITH THE REQUIREMENTS OF CIVIL SECTION 2314.
- CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ALL DAMAGES TO PUBLIC PROPERTIES THAT ARE CAUSED BY THE WORK ON-SITE. REPAIR MUST BE COMPLETED TO THE SATISFACTION OF THE CITY ENGINEER.
- MINIMUM ASPHALT PAVEMENT SECTION SHALL BE "X" PER GEOTECHNICAL REPORT.
- SEPARATE PERMITS MUST BE OBTAINED FROM THE CITY BUILDING AND SAFETY DIVISION FOR THE CONSTRUCTION OF RETAINING WALLS AND ON-SITE PLUMBING.
- PROVIDE TO HUMANS: ON WATER METERS (ELECTRIC AND IRRIGATION) AND/OR FIRE SERVICES. ARRANGE FOR INSTALLATION, TESTING, AND CONNECTION OF ALL NEEDED BACK FLOW PROTECTION DEVICES, WHETHER SUCH DEVICES ARE SHOWN ON THE PROJECT PLANS OR NOT. APPROVED BACK FLOW PROTECTION DEVICES SHALL BE INSTALLED ON-SITE BY THE DEVELOPER'S CONFORMANCE WITH CODE REGULATIONS, AND COUNTY REQUIREMENTS.
- CONSTRUCTION DUST CONTROL: DURING CONSTRUCTION DUST CONTROL MEASURES SHALL BE OBSERVED IN ACCORDANCE WITH THE CITY'S DUST CONTROL ORDINANCE. GRADING WILL BE DISCONTINUED DURING FIRST-STAGE DUST ALERTS AND SUSPENDED DURING PERIODS OF HIGH WIND (I.E. OVER 15 MPH PER HOUR) ALL HAULING TRUCKS SHALL HAVE LOADS COVERED OR WETTED AND LOADED BEFORE THE DEPOSITORS TO MINIMIZE DUST.
- PRIOR TO THE PLACEMENT OF CONCRETE SLABS, THE SLAB SUBGRADE SOLS SHALL BE PRE-MOISTENED TO AT LEAST 5% OVER THE OPTIMUM MOISTURE CONTENT TO THE DEPTH SPECIFIED BY THE GEOTECHNICAL ENGINEER. THE PRE-MOISTENED SOIL SHOULD BE TESTED AND VERIFIED TO BE BY THE GEOTECHNICAL ENGINEER WITHIN ONE DAY PRIOR TO THE PLACEMENT OF THE MOISTURE BARRIER AND SAND.
- PRIOR TO THE FINAL APPROVAL OF THE PROJECT, AN AS-BUILT COMPACTION REPORT PREPARED BY THE PROJECT GEOTECHNICAL CONSULTANT MUST BE SUBMITTED TO THE CITY FOR REVIEW. THE REPORT MUST INCLUDE THE RESULTS OF ALL DENSITY TESTS AS WELL AS A MAP DEPICTING THE LIMITS OF FILL LOCATIONS OF ALL DENSITY TESTS, LOCATIONS AND ELEVATIONS OF ALL REMOVAL BOTTOMS, LOCATIONS AND ELEVATIONS OF ALL KEYHOLE AND BACK DRAINS, AND LOCATIONS AND ELEVATIONS OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE IDENTIFIED ON AN AS-BUILT GEOLOGIC MAP.
- SUBGRADE SOLS SHALL BE TESTED FOR EXPANSION NEED PRIOR TO POURING FOOTINGS OR SLABS. FOUNDATION PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL CONSULTANT, AS APPROPRIATE.
- ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACING CONCRETE FOUNDATION STEEL.
- PRIOR TO THE PLACEMENT OF CONCRETE SLABS, THE SLAB SUBGRADE SOLS SHALL BE PRE-MOISTENED TO AT LEAST 5% OVER THE OPTIMUM MOISTURE CONTENT TO THE DEPTH SPECIFIED BY THE GEOTECHNICAL ENGINEER. THE PRE-MOISTENED SOIL SHOULD BE TESTED AND VERIFIED TO BE BY THE GEOTECHNICAL ENGINEER WITHIN ONE DAY PRIOR TO THE PLACEMENT OF THE MOISTURE BARRIER AND SAND.

## GENERAL NOTES

- GRADING, TRENCHING AND BACKFILL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF MALIBU MUNICIPAL CODE AND ALL OTHER GOVERNING AGENCIES.
- CONSTRUCTION OF THE PROJECT WILL REQUIRE THE CONTRACTOR TO COORDINATE WITH THE OWNER AND MAINTAIN TRAFFIC IN THE AREAS OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJOINING EGRESS AND DRIVEWAYS AT ALL TIMES. PROVIDE TEMPORARY DRIVEWAYS AND TRAFFIC-RATED PLATES OVER OPEN TRENCHES. CONTRACTOR SHALL LIMIT THE AMOUNT OF OPEN TRENCHES SO THAT TRAFFIC CAN BE MAINTAINED. IF REQUIRED, CONTRACTOR SHALL IMPORT FILL MATERIAL FROM OFF-SITE.
- FILL MATERIAL SHALL MEET WITH THE APPROVAL OF THE ENGINEER PRIOR TO BEING IMPORTED. UNSUITABLE MATERIAL THAT IS EXCAVATED BY THE CONTRACTOR THAT CANNOT BE USED AS FILL SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- THE TERM "INSPECTOR" OR "INSPECT" AS USED IN THESE CONTRACT DOCUMENTS SHALL BE TAKEN TO MEAN "OBSERVE" OR "OBSERVATION". THE ENGINEER IS NOT RESPONSIBLE FOR THE CONTRACTOR'S CONSTRUCTION METHODS.
- SUBMIT SHOP DRAWINGS AND LAYOUT DRAWINGS FOR ALL MATERIALS PRIOR TO ANY MATERIAL PURCHASE OR INSTALLATION.
- LOCATION OF UTILITY SUBSTRUCTURE FACILITIES, AS SHOWN ON THESE PLANS, WERE OBTAINED EITHER FROM THE OWNER'S RECORDS AND/OR FROM SURVEYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DEPTH AND LOCATION OF ALL LINES WITHIN HIS WORK AREA PRIOR TO CONSTRUCTION. SUBMIT FODDLE RESULTS PLAN TO ENGINEER PRIOR TO START OF CONSTRUCTION. CHANGE ORDERS FOR UNDERGROUND WORK WILL BE VALID WITHOUT THIS PRIOR SUBMISSION.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (CURRENT EDITION) ALL THE SUPPLEMENTS THERETO, AND THE COUNTY OF LOS ANGELES STANDARDS.
- CONTRACTOR SHALL REPLACE ANY SURFACE OR SUBSURFACE IMPROVEMENTS DAMAGED OR REMOVED DUE TO CONSTRUCTION AND IS REQUIRED TO REPLACE THEM TO THEIR ORIGINAL CONDITION.
- CONTRACTOR SHALL SUBMIT A FINISHING PLAN FOR SITE DEVIATION AND CAPPING OF EXISTING UTILITIES. THE PLAN SHALL BE REVIEWED BY THE OWNER PRIOR TO CONSTRUCTION.
- REMOVE INTERFERING PORTIONS OF EXISTING ABANDONED UTILITIES AS REQUIRED TO CONSTRUCT PROJECT. VERIFY PRIOR TO REMOVAL.
- ROUGH GRADING MUST BE APPROVED BY A FINAL ENGINEERING GEOLOGY AND SOILS ENGINEERING REPORT. AN AS-BUILT GEOLOGIC MAP MUST BE INCLUDED IN THE FINAL GEOLOGY REPORT. THE REPORT SHALL BE SUBMITTED TO THE CITY ENGINEER. WORK WAS DONE IN ACCORDANCE WITH REPORT RECOMMENDATIONS AND CODE REQUIREMENTS (SECTION 181813). THE FINAL REPORT(S) MUST BE REVIEWED BY THE GEOTECHNICAL AND MATERIALS ENGINEERING. THE PLAN SHALL BE REVIEWED AND APPROVAL.
- FOUNDATION EXCAVATIONS MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND SOILS ENGINEER PRIOR TO THE PLACING OF STEEL OR CONCRETE.
- ALL RECOMMENDATIONS OF THE CONSULTING GEOLOGIST AND GEOTECHNICAL ENGINEER MUST BE INCORPORATED INTO DESIGN OR SHOWN AS NOTES ON THE PLANS.
- ALL EXISTING FILL AND SOFT OR COMPRESSIBLE EARTH MATERIALS SHALL BE REMOVED FROM THE AREA TO BE CONSTRUCTED. THE EXCAVATED AREAS SHALL BE OBSERVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING COMPACTED FILL. A UNIFORM COMPACTED FILL PLAN MUST BE PLACED WITHIN THE TRENCHES. THE FILL BLANKET SHALL EXTEND AT LEAST FOUR FEET BELOW THE BOTTOM OF THE FOOTINGS AND SHOULD EXTEND LATERALLY FOR A DISTANCE EQUAL TO THE DEPTH OF FILL BELOW THE FOUNDATION. THIS FILL SHALL BE PLACED OVER BEDROCK AND COLLUVIUM MATERIALS.
- SUBSISTENCE TO THE INDICATED REMOVALS, THE EXPOSED SHALE SHALL BE SCARPED TO A DEPTH OF SIX INCHES, MOISTENED AS APPROVED BY THE CITY, SHALL BE CONSIDERED A PART OF THE GRADING PLAN.
- FILL COMPOSITION OF SOIL APPROVED BY THE GEOTECHNICAL ENGINEER SHALL BE PLACED IN COMPACTED LAYERS WITH SUITABLE COMPACTING EQUIPMENT. THE EXCAVATED SOILS MATERIALS ARE CONSIDERED SATISFACTORY FOR REUSE IN THE CONTROLLED FILL. ANY IMPORTED FILL SHALL BE OBSERVED BY THE GEOTECHNICAL ENGINEER PRIOR TO USE IN FILL AREAS. FILL MATERIALS SHALL BE MOISTURE CONDITIONED TO WITHIN A PERCENT OF OPTIMUM MOISTURE CONTENT AND SHOULD BE SUFFICIENTLY BLENDED TO BE PLACED IN CONTIGUOUS LAYERS. ROCKS LARGER THAN SIX INCHES IN DIAMETER SHALL NOT BE USED IN THE FILL.
- FILL SHALL BE COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM LABORATORY DENSITY FOR THE MATERIALS USED. THE MAXIMUM DENSITY SHALL BE DETERMINED BY ASTM D 1557-02 OR EQUIVALENT.
- FIELD OBSERVATION AND TESTING SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER DURING GRADING TO ASSIST THE CONTRACTOR IN OBTAINING THE REQUIRED DEGREE OF COMPACTION AND THE PROPER MOISTURE CONTENT. WHERE COMPACTION IS LESS THAN REQUIRED, ADDITIONAL COMPACTIVE EFFORT SHALL BE MADE WITH ADJUSTMENT OF THE MOISTURE CONTENT, AS NECESSARY, UNTIL 90 PERCENT COMPACTION IS OBTAINED.
- UTILITY TRENCHES SHALL BE PROPERLY BACKFILLED WITH CONTROLLED FILL. THE PIPE SHALL BE BEDDED WITH CLEAN SAND AT LEAST ONE FOOT OVER THE CROWN. THE REMAINDER OF THE BACK FILL SHALL BE COMPACTED TO 95 PERCENT AND TESTED IN ACCORDANCE WITH ASTM C-1557-02.
- ANY VEGETATION OR ASSOCIATED ROOT SYSTEM LOCATED WITHIN THE FOOTPRINT OF THE PROPOSED STRUCTURES SHALL BE REMOVED DURING GRADING. ANY EXISTING OR ABANDONED UTILITIES LOCATED WITHIN THE FOOTPRINT OF THE PROPOSED STRUCTURES SHALL BE REMOVED OR RELOCATED AS APPROPRIATE. ALL FILL MATERIALS AND DISTURBED EARTH MATERIALS RESULTING FROM GRADING OPERATIONS SHALL BE REMOVED AND PROPERLY RECONSTRUCTED PRIOR TO FOUNDATION EXCAVATION.

## PRIVATE ENGINEER'S NOTICE TO SUBCONTRACTORS

- PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES, INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAS BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
- THE CONTRACTOR SHALL BE FAMILIARIZED WITH THE PLANS, THE SOILS AND/OR GEOLOGY REPORTS, AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK.
- SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AT PMSM BEFORE PROCEEDING WITH THE WORK IN QUESTION.

## PUBLIC WORKS DEPARTMENT GENERAL NOTES:

- ALL WORK SHOWN ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (ESPWC) "GREEN BOOK".
- CONTRACTORS SHALL COMPLY WITH ALL APPLICABLE DIVISION OF INDUSTRIAL REGULATIONS (CALIFORNIA SAFETY STANDARDS) AS REQUESTED BY THE INSPECTOR. THE CONTRACTOR SHALL PROVIDE PROOF OF A PERMIT FROM SAID DIVISION.
- CONTRACTOR SHALL CALL THE PUBLIC WORKS INSPECTOR AT (310) 456-2469 EXTENSION 235 FOR THE CONSTRUCTION MEETING PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR GRADING OPERATIONS. CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS INSPECTOR 48 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION AND 24 HOURS IN ADVANCE OF SPECIFIC INSPECTION NEEDS DURING THE COURSE OF THE WORK.
- NOT USED.
- STORAGE OF ANY CONSTRUCTION MATERIALS, CONSTRUCTION TRAILER, AND/OR PARKING AND ANY WORK WITHIN THE CITY RIGHT OF WAY SHALL REQUIRE A CITY ENCROACHMENT PERMIT. CALL THE PUBLIC WORKS INSPECTOR AT (310) 456-2480 EXT. 235 TO APPLY FOR A PERMIT.
- STORAGE OF ANY CONSTRUCTION MATERIALS, CONSTRUCTION TRAILER, AND/OR PARKING AND ANY WORK WITHIN THE CITY RIGHT OF WAY SHALL REQUIRE A CALTRANS ENCROACHMENT PERMIT. SUBMIT A COPY OF THE CALTRANS ENCROACHMENT PERMIT TO THE PUBLIC WORKS DEPARTMENT.
- ALL WORK SHALL BE PERFORMED DURING CITY WORKING HOURS AND IN COMPLIANCE WITH THESE PLANS.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORK.
- CONTRACTOR SHALL LOCATE, PROTECT, AND SAVE ANY AND ALL SURVEY MONUMENTS THAT WILL BE OR MAY BE DAMAGED OR DESTROYED BY THEIR OPERATIONS. ONCE FOUND, THE CONTRACTOR SHALL THEN NOTIFY BOTH THE SURVEYOR'S SUPERVISOR AND THE PUBLIC WORKS INSPECTOR. THE SUPERVISING CIVIL ENGINEER SHALL RESET ALL SAID MONUMENTS PER THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PUBLIC AND PRIVATE PROPERTY APPEAR AS IT MAY BE AFFECTED BY THESE OPERATIONS.
- EXISTING TRAFFIC SIGNALS ARE NOT TO BE REMOVED WITHOUT PRIOR NOTIFICATION AND APPROVAL OF THE CITY ENGINEER. AS A MINIMUM, CONSTRUCTION WORK SHALL BE COMPLETED PRIOR TO THE TRAFFIC SIGNAL BEING REMOVED, REPAIRED, AND MAINTAINED IN ACCORDANCE WITH THE "WORK AREA TRAFFIC CONTROL HANDBOOK" ("THE WATCH MANUAL"), PUBLISHED BY THE BUILDING NEWS, INC. A TRAFFIC CONTROL PLAN, PREPARED BY THE DESIGNER, MAY BE REQUIRED BY THE CITY.
- DUST CONTROL SHALL BE MAINTAINED AT ALL TIMES.
- EXISTING CONTROL PLANS SHALL BE PROVIDED FOR ALL PROJECTS, GRADING AND CLEARING. PROHIBITED FROM 1 TO 3 MARKS TO BE MAINTAINED AT ALL LOCATIONS WITHIN OR ADJACENT TO ESHA AND/OR INCLUDING GRADING ON THE GREATER OF THE 4:1.
- ALL UNDERGROUND UTILITIES AND SERVICE LINES SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF CURBS, GUTTERS, SIDEWALKS, AND PAVING UNLESS OTHERWISE PERMITTED BY THE CITY ENGINEER.
- THE DEVELOPER SHALL COMPLY WITH HDS REQUIREMENTS. THE STORM WATER EXCEPT PRE-EXISTING PLAN (CONTR) SHALL BE AS SHOWN ON THE CONSTRUCTION SITE AT ALL TIMES AND SHALL BE KEPT UPDATED.
- ALL RECOMMENDATIONS MADE BY THE GEOTECHNICAL/SOILS ENGINEER (AND ENGINEER NOT EMPLOYED, WHERE EMPLOYED), AND CONTAINED IN THE REPORTS REFERRED HEREON, AS APPROVED OR CONTROLLED BY THE CITY, SHALL BE CONSIDERED A PART OF THE GRADING PLAN.
- ALL STORM DRAIN PIPE WITHIN THE PUBLIC RIGHT-OF-WAY AND EASEMENTS SHALL BE REINFORCED CONCRETE PIPE (RCP).
- TERRACE DRAINS, INTERCEPT DRAINS, AND DOWN DRAINS SHALL BE CONSTRUCTED OF 12" DIA. UNDER DRAIN (UD) AND SHALL BE EITHER SEMICIRCULAR OR TRIANGULAR CROSS SECTION CONCRETE COLOR SHALL BE "TOWANA TAN" OR APPROVED EQUIVALENT.
- GRADING QUANTITIES  
 CUT \_\_\_\_\_ C.Y. FILL \_\_\_\_\_ C.Y.  
 EXPORT \_\_\_\_\_ C.Y. IMPORT \_\_\_\_\_ C.Y.  
 \*INCLUDES 10% SHRINKAGE.
- TOTAL DISTURBED AREA 24.3 ACRES (1,081,884 SQ. FT.) INCLUDING GRADING, CLEARING AND LANDSCAPING AREA) TOTAL EXISTING IMPERVIOUS SURFACE AREA 0.48 AC. TOTAL PROPOSED IMPERVIOUS SURFACE AREA 44.4 AC. FLOOD ZONE (V) FROM 065041 0785 C. BASE FLOOD ELEVATION: N/A
- ALL SLOPES ON PRIVATE PROPERTY ADJOINING STREETS, DRAINAGE CHANNELS, OR OTHER PUBLIC PROPERTY SHALL BE GRADED NOT STEEPER THAN 2:1 FOR CUT AND FILL UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER OR RECOMMENDATION OF THE PROJECTS GEOTECHNICAL/SOILS CONSULTANT.
- ALL CATCH BASINS AND DRAINAGE NETS SHALL BE DETIENCED WITH CITY OF MALIBU STORM DRAIN LOGS.

## ESTIMATED EARTHWORK QUANTITIES

	# & R	EXEMPT	NON-EXEMPT	REMEDIAL	TOTAL
CUT	70,045	11,057	1,172	12,168	0
FILL	70,045	0	231	15,590	0
TOTAL	140,090	11,057	1,403	27,748	0
EXPORT	-	-	-	-	0
IMPORT	-	-	-	-	0

THE ABOVE LISTED QUANTITIES REFLECT THE ENGINEER'S ESTIMATE OF THE EARTHWORK VOLUMES.

THESE QUANTITIES ARE FOR DESIGN AND BIDDING PURPOSES ONLY, AND NOT FOR CONTRACT PURPOSES.

THE CONTRACTOR IS RESPONSIBLE FOR COMPUTING HIS OWN QUANTITIES GRADING ASSOCIATED WITH HIS DESIGN, INCLUDING SAFETY ACCESS, SHALL BE CONSIDERED SEPARATE GRADING.

ASSUMPTIONS:

- INCLUDED 10% SHRINKAGE VALUE PER SHANNON & WILSON GEOTECHNICAL REPORT.
- INCLUDED 5% CONTINGENCY.
- EXEMPTIONS ARE CUT AND FILL QUANTITIES ALONG CIVIC CENTER DRIVE SLOPE FOR EROSION STABILITY, AND FILL ALONG SENSITIVE AREA TO HONOR CULTURAL RESOURCES.

## SOILS ENGINEER REVIEW

THESE PLANS HAVE BEEN REVIEWED BY AND CONFORM TO THE RECOMMENDATIONS OF THE FOLLOWING GEOLOGIC/SOILS REPORTS PREPARED BY:

(SOILS ENGINEER) \_\_\_\_\_ DATE \_\_\_\_\_

## STORMWATER CALCULATION SUMMARY

STORMWATER VOLUME OF TREATED CHANNEL AREA = 4,500 C.F.  
 DRIVEWAY APPROACH AREA: 1,500 C.F.  
 DETENTION VOLUMES:  
 CHANNEL AREA = 3,000 C.F.  
 DRIVEWAY APPROACH AREA: 1,500 C.F.  
 \*ADDITIONAL DETENTION VOLUME REQUIRED FOR HYDROMODIFICATION

## LEGAL DESCRIPTION:

PARCEL 1:  
 THAT PORTION OF RANCHO TOPANGA MALIBU SEQUIT, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, CONFORMED TO MATTHEW KELLER BY PATENT RECORDED IN BOOK 4718 PAGE 407 ET SEQ. OF PATENTS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE INTERSECTION OF THE NORTHERLY LINE OF THE LAND AS DESCRIBED IN PARCEL 1 IN THE QUINLAN DRAINAGE AND THE ADVANCE 15' TO THE COMPANIES RECORDED MARCH 20, 1970 AS INSTRUMENT NO. 440, WITH THE CENTER LINE OF THE DEED DESCRIBED IN PARCEL 1 IN THE QUINLAN DRAINAGE; THENCE NORTHERLY ALONG SAID SOUTHWESTERLY LINE TO THE WEST SOUTHERLY CORNER OF THE LAND AS DESCRIBED IN PARCEL 7 IN THE DEED TO RAMMOND J. GAGNON ET AL RECORDED JULY 25, 1945 AS INSTRUMENT NO. 822 IN BOOK 22187 PAGE 271 OF OFFICIAL RECORDS; THENCE ALONG SAID WESTERLY LINE NORTH 04° 52' 00" WEST 169.88 FEET TO THE SOUTHWESTERLY LINE OF THE 8000 FOOT WIDE STRIP OF LAND AS DESCRIBED IN THE DEED TO THE COUNTY OF LOS ANGELES RECORDED SEPTEMBER 18, 1941 IN BOOK 18752 PAGE 205 OF OFFICIAL RECORDS; THENCE NORTHERLY ALONG SAID SOUTHWESTERLY LINE TO THE WEST SOUTHERLY CORNER OF THE LAND AS DESCRIBED IN PARCEL 7 IN THE DEED TO RAMMOND J. GAGNON ET AL RECORDED JULY 25, 1945 AS INSTRUMENT NO. 822 IN BOOK 22187 PAGE 271 OF OFFICIAL RECORDS; THENCE ALONG SAID WESTERLY LINE NORTH 04° 52' 00" WEST 127.59 FEET, NORTH 64° 44' 45" WEST 308.89 FEET AND SOUTH 89° 08' 35" WEST TO THE EASTERLY LINE OF THE LAND AS DESCRIBED IN PART 1 IN SAID HEREIN ABOVE MENTIONED DEED TO PERPETUOUS COLLEGE; THENCE SOUTHERLY ALONG SAID EASTERLY LINE TO THE POINT OF BEGINNING.

PARCEL 2:  
 THAT PORTION OF RANCHO TOPANGA MALIBU SEQUIT, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS CONFIRMED TO MATTHEW KELLER BY PATENT RECORDED IN BOOK 4718 PAGE 407 ET SEQ. OF PATENTS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:  
 BEGINNING AT A POINT IN THE SOUTHWESTERLY LINE OF MALIBU CANYON ROAD 120 FOOT RIGHT-OF-WAY AS IT MAY BE AFFECTED BY THESE OPERATIONS; BE 1604 SHEET 1 ON FILE IN THE OFFICE OF THE COUNTY ENGINEER OF SAID COUNTY WHICH BEARS SOUTH 30° 21' 00" WEST 40.00 FEET FROM ENGINEER'S CENTER LINE STATION 21+00 TO POINT "A" IN THE DEED TO PERPETUOUS COLLEGE; THENCE CENTER LINE COURSE AS BEING IN PARCEL 7 IN THE DEED TO PERPETUOUS COLLEGE RECORDED AUGUST 17, 1970 AS INSTRUMENT NO. 1745; THENCE EASTERLY ALONG SAID NORTHERLY LINE TO AN ANGLE POINT IN THE WESTERLY LINE OF THE LAND AS DESCRIBED IN PARCEL 7 IN THE DEED TO RAMMOND J. GAGNON ET AL RECORDED JULY 25, 1945 AS INSTRUMENT NO. 822 IN BOOK 22187 PAGE 271 OF OFFICIAL RECORDS; THENCE ALONG SAID WESTERLY LINE NORTH 04° 52' 00" WEST 169.88 FEET TO THE SOUTHWESTERLY LINE OF THE 8000 FOOT WIDE STRIP OF LAND AS DESCRIBED IN THE DEED TO THE COUNTY OF LOS ANGELES RECORDED SEPTEMBER 18, 1941 IN BOOK 18752 PAGE 205 OF OFFICIAL RECORDS; THENCE NORTHERLY ALONG SAID SOUTHWESTERLY LINE TO THE WEST SOUTHERLY CORNER OF THE LAND AS DESCRIBED IN PARCEL 7 IN THE DEED TO RAMMOND J. GAGNON ET AL RECORDED JULY 25, 1945 AS INSTRUMENT NO. 822 IN BOOK 22187 PAGE 271 OF OFFICIAL RECORDS; THENCE ALONG SAID WESTERLY LINE NORTH 04° 52' 00" WEST 127.59 FEET, NORTH 64° 44' 45" WEST 308.89 FEET AND SOUTH 89° 08' 35" WEST TO THE EASTERLY LINE OF THE LAND AS DESCRIBED IN PART 1 IN SAID HEREIN ABOVE MENTIONED DEED TO PERPETUOUS COLLEGE; THENCE SOUTHERLY ALONG SAID EASTERLY LINE TO THE POINT OF BEGINNING.

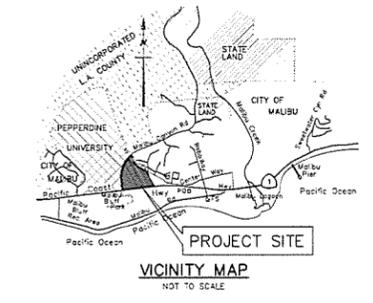
EXCEPT THEREFROM ALL MINERALS, OIL, GAS AND OTHER HYDROCARBON SUBSTANCES BUT WITHOUT RIGHT OF SURFACE ENTRY.

PARCEL 3:  
 EXCEPT THEREFROM ALL MINERALS, OIL, PETROLEUM, ASPHALTUM, GAS, COAL AND OTHER HYDROCARBON SUBSTANCES IN, ON, AND UNDER SAID LAND BUT WITHOUT THE RIGHT TO GO UPON OR UNDER SAID LAND FOR THE PURPOSES OF EXPLORING FOR OR PRODUCING SUCH SUBSTANCES IN, ON, AND UNDER SAID LAND AND EXCLUSIVE RIGHT TO DRILL INTO, UNDER, ACROSS AND THROUGH SAID PROPERTY AT DEPTHS BELOW 500 FEET FROM THE SURFACE THEREOF FOR THE PURPOSES OF EXPLORING FOR OR PRODUCING SUCH SUBSTANCES IN, ON, WITHIN, UNDER AND THAT MAY BE PRODUCED FROM SAID LANDS AND EVERY PART THEREOF, PROVIDED, HOWEVER, THAT THIS DEED SHALL NEITHER GRANT NOR SHALL IT BE CONSIDERED AS GRANTING AND CONFERRING THE RIGHT TO GO UPON THE SURFACE OF SAID REAL PROPERTY TO RECOVER OR REMOVE SUCH SUBSTANCES, AS GRANTED TO WILSONIA LIMITED, A GENERAL PARTNERSHIP, BY DEED RECORDED JANUARY 15, 1981 AS DOCUMENT NO. 81-47445.

PARCEL 4:  
 BEGINNING AT A POINT ON THE CENTER LINE OF THE 120 FOOT RIGHT-OF-WAY TO THE STATE OF CALIFORNIA, AS PER DOCUMENT RECORDED IN BOOK 20743 PAGE 271 OF OFFICIAL RECORDS, SAID CENTER LINE HAVING A BEARING OF SOUTH 84° 57' 00" WEST AND SAID POINT BEING SOUTH 84° 57' 00" WEST 117.94 FEET ALONG SAID CENTER LINE FROM LOS ANGELES COUNTY ENGINEER'S TRAVELER STATION "50-SOUTH CANYON L-4" AS SAID TRAVELER STATION IS SHOWN ON FILE BOOK 1652, PAGE 67 AND BE OF LOS ANGELES COUNTY; THENCE ALONG SAID CENTER LINE SOUTH 84° 57' 00" WEST 65.3 FEET TO A POINT HEREBY REFERRED TO AS POINT "A"; THENCE NORTH 05° 02' 51" WEST 50 FEET TO A POINT ON THE NORTH LINE OF SAID 120 FOOT RIGHT-OF-WAY, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 05° 02' 51" WEST 40 FEET; THENCE NORTHEASTERLY IN A DIRECT LINE TO THE NORTHERLY TERMINUS OF THAT CERTAIN COURSE IN THE WESTERLY BOUNDARY OF THE LAND DESCRIBED AS PARCEL NO. 3 IN THE DEED TO RAMMOND J. GAGNON, ET AL, RECORDED ON JULY 25, 1945 IN BOOK 22187 PAGE 271 OF OFFICIAL RECORDS, SAID LINE HAVING A BEARING AND LENGTH OF NORTH-82° 36' 00" WEST 485.33 FEET; THENCE ALONG SAID CERTAIN COURSE AND ITS PROLONGATION, SOUTH 29° 36' 27" EAST 472.56 FEET TO THE NORTH LINE OF SAID 120 FOOT RIGHT-OF-WAY; THENCE SOUTH 84° 57' 00" WEST ALONG SAID NORTH LINE TO THE TRUE POINT OF BEGINNING.

EXCEPT THEREFROM THAT PORTION OF SAID LAND LYING WEST OF THE WEST LINE OF MALIBU CANYON ROAD AS DESCRIBED IN DEED RECORDED AS INSTRUMENT NO. 2896 ON DECEMBER 6, 1970, IN BOOK 0-4910 PAGE 516, OFFICIAL RECORDS.

ALSO EXCEPT THEREFROM ALL MINERAL, OIL, PETROLEUM, ASPHALTUM, GAS, COAL, OTHER MINERAL, AND HYDROCARBON SUBSTANCES AND WATER LYING IN, ON, WITHIN, UNDER AND THAT MAY BE PRODUCED OR EXTRACTED FROM SAID PROPERTY AND EVERY PART THEREOF, PROVIDED, HOWEVER, THAT THIS SECTION SHALL NOT BE CONSIDERED AS GRANTING OR CONFERRING AS HEREINAFORE MENTIONED RIGHTS SHALL NOT HAVE THE RIGHT TO GO UPON THE SURFACE OR WITHIN THE UPPER 500 FEET MEASURED VERTICALLY DOWNWARD FROM THE SURFACE OF SAID PROPERTY TO EXTRACT SAID SUBSTANCES, BUT THERE IS EXPRESSLY RESERVED UNTO SHANNON, ITS SUCCESSORS AND ASSIGNS THE SOLE AND EXCLUSIVE RIGHT TO DRILL INTO, UNDER, ACROSS AND THROUGH SAID PROPERTY AT DEPTHS BELOW 500 FEET FROM THE SURFACE FOR THE PURPOSES OF TANKING, RECOVERING AND REMOVING SAID SUBSTANCES IN, ON, WITHIN, UNDER AND THAT MAY BE PRODUCED OR EXTRACTED FROM SAID PROPERTY; EVERY PART THEREOF, AS RESERVED BY MARBLEHEAD LAND COMPANY, CORPORATION, IN DEED RECORDED MARCH 20, 1970 AS INSTRUMENT NO. 454, AND THE ADMINISTRATORS, A PARTNERSHIP, IN DEED RECORDED MARCH 20, 1970 AS INSTRUMENT NO. 447.



SHEET INDEX

SHT. NO.	TITLE
C1.0	TITLE SHEET & NOTES
C2.1	GRADING AND DRAINAGE PLAN
C2.2	GRADING AND DRAINAGE DETAILS & SECTIONS
C3.0	SEWER AND WATER PLAN

## CONTACT INFORMATION

OWNER/DEVELOPER:  
 GREEN ACRES, LLC  
 A CALIFORNIA LIMITED LIABILITY COMPANY  
 P.O. BOX 6528  
 MALIBU, CA 90264  
 CONTACT: JAKE JESSON  
 TELEPHONE: (310) 456-2600

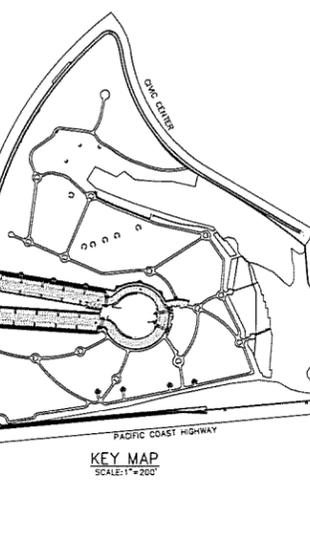
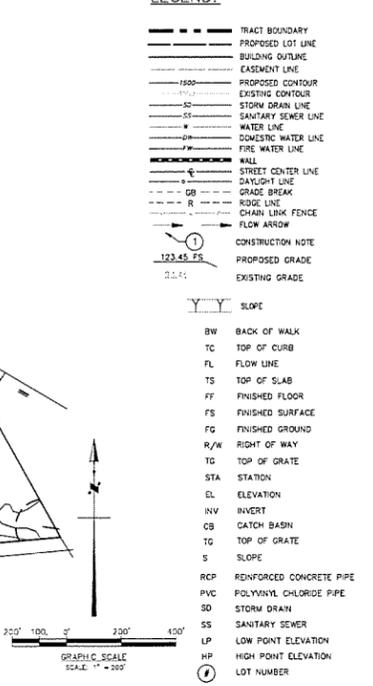
OWNER REPRESENTATIVE:  
 PROJECT DELIVERY ANALYSTS, LLC  
 16345 SHAWBEE STREET  
 MOJAVE, CA 93501  
 TELEPHONE: (805) 398-6570  
 FAX: (805) 552-0046

SOILS ENGINEER/GEOLOGIST:  
 GEOSOLS CONSULTANTS, INC.  
 VAN NUYS, CA 91406  
 TELEPHONE: (818) 786-2158  
 CONTACT: RUDY RUBERTI

CIVIL ENGINEER:  
 PSOMAS  
 585 S. FLORES STREET, SUITE 4450  
 LOS ANGELES, CA 90071  
 CONTACT: ANDREW WICKERSHAM  
 TEL: (213) 223-1400

JOB ADDRESS:  
 EXISTING 24111 PACIFIC COAST HIGHWAY  
 PROPOSED: 4000 MALIBU CANYON ROAD  
 MALIBU, CA 90265

## LEGEND:



REVISIONS

NO.	DATE	DESCRIPTION
1	02/18/2016	ISSUED FOR PERMIT
2	02/18/2016	ISSUED FOR PERMIT

DATE: 02/18/2016

SCALE: As Shown

DRAWN BY: PXL

JOB NO.: 106220161

SHEET: C1.0

OF 4 SHEETS

PSOMAS  
 585 S. FLORES STREET, SUITE 4450  
 LOS ANGELES, CA 90071  
 CONTACT: ANDREW WICKERSHAM  
 TEL: (213) 223-1400  
 WWW.PSOMAS.COM

PSOMAS  
 585 S. FLORES STREET, SUITE 4450  
 LOS ANGELES, CA 90071  
 CONTACT: ANDREW WICKERSHAM  
 TEL: (213) 223-1400  
 WWW.PSOMAS.COM

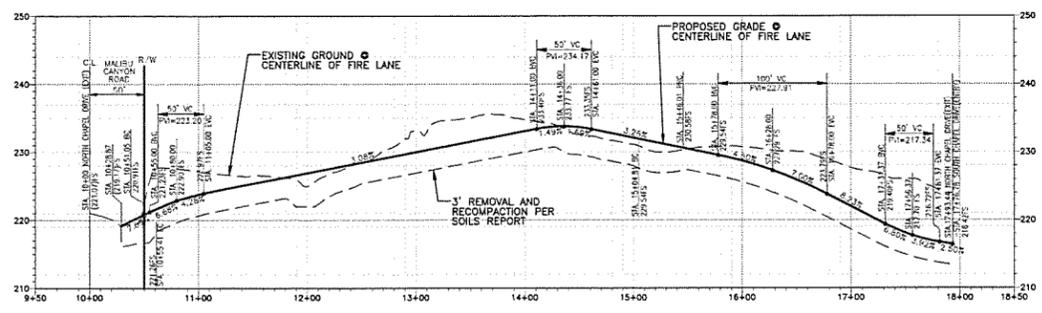
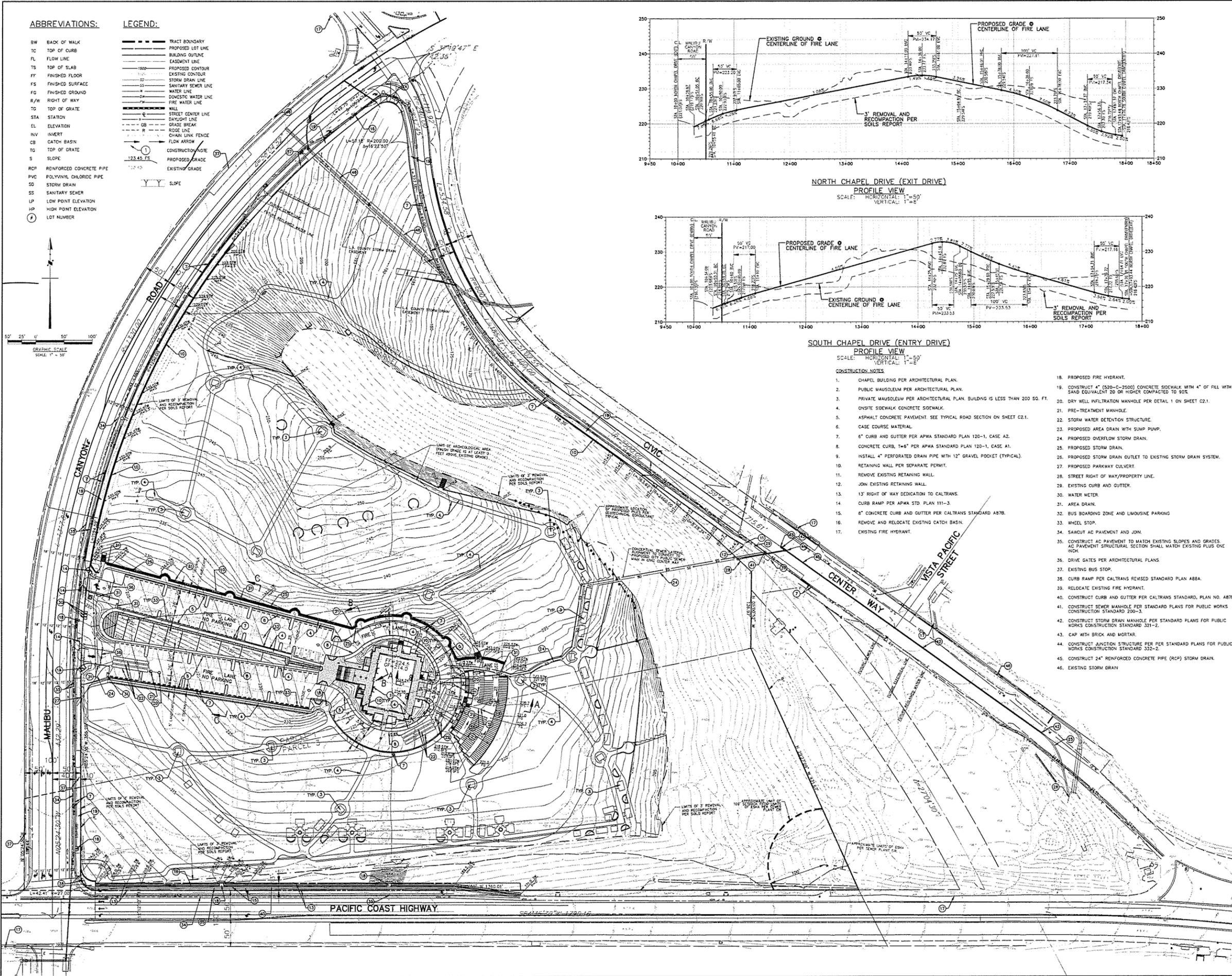
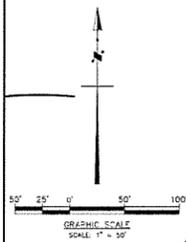
GRADING AND DRAINAGE PLAN

**ABBREVIATIONS:**

- BW BACK OF WALK
- TC TOP OF CURB
- FL FLOW LINE
- TS TOP OF SLAB
- FF FINISHED FLOOR
- FS FINISHED SURFACE
- FG FINISHED GROUND
- R/W RIGHT OF WAY
- TG TOP OF GRATE
- ST STATION
- EL ELEVATION
- INV INVERT
- CB CATCH BASIN
- TG TOP OF GRATE
- S SLOPE
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- SD STORM DRAIN
- SS SANITARY SEWER
- LP LOW POINT ELEVATION
- HP HIGH POINT ELEVATION
- ① LOT NUMBER

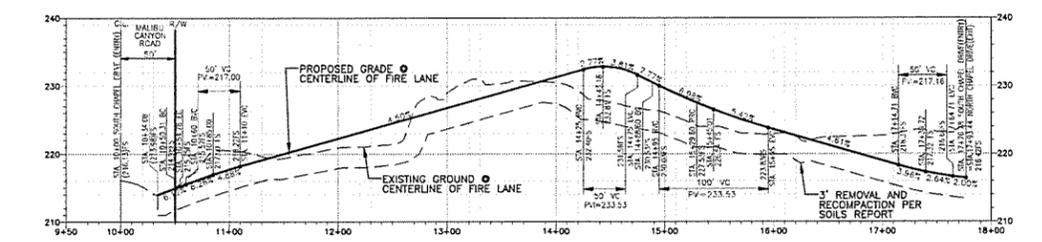
**LEGEND:**

- TRACT BOUNDARY
- PROPOSED LOT LINE
- BUILDING OUTLINE
- EASEMENT LINE
- 1:500 PROPOSED CONTOUR
- EXISTING CONTOUR
- STORM DRAIN LINE
- SANITARY SEWER LINE
- WATER LINE
- DOMESTIC WATER LINE
- FIRE WATER LINE
- WALL
- STREET CENTER LINE
- DAYLIGHT LINE
- GRADE BREAK
- RIDGE LINE
- CHAIN LINK FENCE
- FLOW ARROW
- CONSTRUCTION NOTE
- PROPOSED GRADE
- EXISTING GRADE
- SLOPE



**NORTH CHAPEL DRIVE (EXIT DRIVE)**  
PROFILE VIEW

SCALE: HORIZONTAL: 1"=50'  
VERTICAL: 1"=5'



**SOUTH CHAPEL DRIVE (ENTRY DRIVE)**  
PROFILE VIEW

SCALE: HORIZONTAL: 1"=50'  
VERTICAL: 1"=5'

**CONSTRUCTION NOTES:**

1. CHAPEL BUILDING PER ARCHITECTURAL PLAN.
2. PUBLIC MAUSOLEUM PER ARCHITECTURAL PLAN.
3. PRIVATE MAUSOLEUM PER ARCHITECTURAL PLAN. BUILDING IS LESS THAN 200 SQ. FT.
4. ON-SITE SIDEWALK CONCRETE SIDEWALK.
5. ASPHALT CONCRETE PAVEMENT. SEE TYPICAL ROAD SECTION ON SHEET C2.1.
6. CASE COURSE MATERIAL.
7. 6" CURB AND GUTTER PER APWA STANDARD PLAN 120-1, CASE A2.
8. CONCRETE CURB, T=6" PER APWA STANDARD PLAN 120-1, CASE A1.
9. INSTALL 4" PERFORATED DRAIN PIPE WITH 12" GRAVEL POCKET (TYPICAL).
10. RETAINING WALL PER SEPARATE PERMIT.
11. REMOVE EXISTING RETAINING WALL.
12. JOIN EXISTING RETAINING WALL.
13. 13' RIGHT OF WAY DEDICATION TO CALTRANS.
14. CURB RAMP PER APWA STD PLAN 111-3.
15. 6" CONCRETE CURB AND GUTTER PER CALTRANS STANDARD A87B.
16. REMOVE AND RELOCATE EXISTING CATCH BASIN.
17. EXISTING FIRE HYDRANT.
18. PROPOSED FIRE HYDRANT.
19. CONSTRUCT 4" (520-C-2500) CONCRETE SIDEWALK WITH 4" OF FILL WITH SAND EQUIVALENT TO OR HIGHER COMPACTED TO 90%.
20. DRY WELL INFILTRATION MANHOLE PER DETAIL 1 ON SHEET C2.1.
21. PRE-TREATMENT MANHOLE.
22. STORM WATER DETENTION STRUCTURE.
23. PROPOSED AREA DRAIN WITH SUMP PUMP.
24. PROPOSED OVERFLOW DRAIN.
25. PROPOSED STORM DRAIN.
26. PROPOSED STORM DRAIN OUTLET TO EXISTING STORM DRAIN SYSTEM.
27. PROPOSED PARKWAY CULVERT.
28. STREET RIGHT OF WAY/PROPERTY LINE.
29. EXISTING CURB AND GUTTER.
30. WATER METER.
31. AREA DRAIN.
32. BUS BOARDING ZONE AND LIMOUSINE PARKING.
33. WHEEL STOP.
34. SANICUT AC PAVEMENT AND JOIN.
35. CONSTRUCT AC PAVEMENT TO MATCH EXISTING SLOPES AND GRADES. AC PAVEMENT STRUCTURAL SECTION SHALL MATCH EXISTING PLUS ONE INCH.
36. DRIVE GATES PER ARCHITECTURAL PLANS.
37. EXISTING BUS STOP.
38. CURB RAMP PER CALTRANS REVISED STANDARD PLAN A87A.
39. RELOCATE EXISTING FIRE HYDRANT.
40. CONSTRUCT CURB AND GUTTER PER CALTRANS STANDARD, PLAN NO. A87B.
41. CONSTRUCT SEWER MANHOLE PER STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION STANDARD 200-3.
42. CONSTRUCT STORM DRAIN MANHOLE PER STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION STANDARD 321-2.
43. CAP WITH BRICK AND MORTAR.
44. CONSTRUCT JUNCTION STRUCTURE PER PER STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION STANDARD 332-2.
45. CONSTRUCT 24" REINFORCED CONCRETE PIPE (RCP) STORM DRAIN.
46. EXISTING STORM DRAIN.

REVISIONS	
1	ISSUE
2	REVISED
3	REVISED
4	REVISED
5	REVISED
6	REVISED
7	REVISED
8	REVISED
9	REVISED
10	REVISED

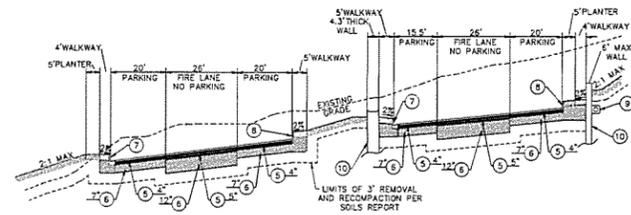
**MALIBU MEMORIAL PARK**  
4000 Malibu Canyon Road  
Malibu CA, 90265

**PSOMAS**  
Professional Seal  
No. 005808  
www.psomas.com

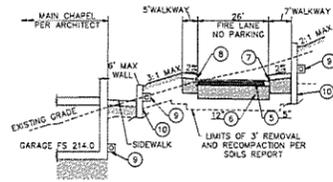


**GRADING AND DRAINAGE PLAN**

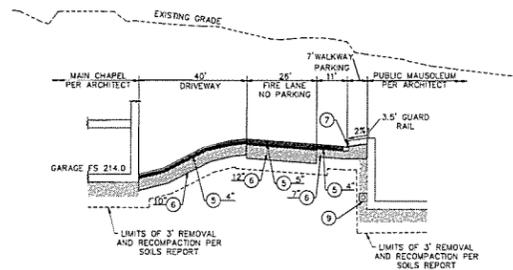
DATE	08/02/18
SCALE	As Shown
DRAWN BY	D & Z
JOB No.	1514220118
SHEET	C2.0
OF 4 SHEETS	



SECTION "C"-"C"



SECTION "B"-"B"

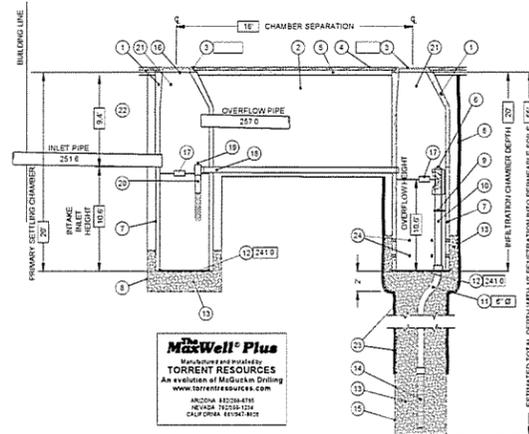


SECTION "A"-"A"

TYPICAL ROAD SECTION

NOT TO SCALE

Modified Maxwell® Plus Drainage System Detail And Specifications



ITEM NUMBERS

- 1 MANHOLE CONE - MODIFIED FLAT BOTTOM
- 2 STABILIZED BACKFILL - ONE-SACK SLURRY MIX
- 3 BOLTED RING & GRATECOVER - 30" Ø, CLEAN CAST IRON WITH WORDING "STORM WATER ONLY" IN RAISED LETTERS. BOLTED IN 2 LOCATIONS AND SECURED TO CONE WITH MORTAR. RIM ELEVATION AS SHOWN ON PLANS. REE-TABLE COLUMNS "B" & "D" HEREON FOR RIM ELEVATIONS
- 4 GRADED BASIN OR PAVING (BY OTHERS)
- 5 COMPACTED BASE MATERIAL (BY OTHERS)
- 6 PUREFOLO - DEBRIS SHIELD - ROLLED 16 GA. STEEL X 24" LENGTH WITH VENTED ANTI-SIPHON AND INTERNAL 20" MAX. SWD FLATTENED EXPANDED STEEL SCREEN X 12" LENGTH. FUSION BONDED EPOXY COATED
- 7 PRE-CAST LINER (SETTLING CHAMBER) - 4000 PSI CONCRETE MANHOLE 48" Ø X 60" CENTER IN HOLE AND ALIGN SECTIONS TO MAXIMIZE BEARING SURFACE
- 8 MIN. 6" Ø DRILLED SHAFT
- 9 SUPPORT BRACKET - FORMED 12 GA. STEEL FUSION BONDED EPOXY COATED
- 10 OVERFLOW PIPE - SCH 40 PVC MATED TO DRAINAGE PIPE AT BASE SEAL
- 11 DRAINAGE PIPE - ADS HIGHWAY GRADE WITH TRIA COUPLER SUSPEND PIPE DURING BACKFILL OPERATIONS TO PREVENT BUCKLING OR BREAKAGE. DIAMETER AS NOTED
- 12 BASE SEAL - GEOTEXTILE
- 13 ROCK - CLEAN AND WASHED 3/8" TO 1 1/2" AGGREGATE
- 14 FLOFAST DRAINAGE SCREEN - SCH 40 PVC Ø 12" SLOTTED WELL SCREEN WITH 32 SLOTS PER ROW. RIM DIAMETER VARIES 9" OVERALL LENGTH WITH TRI-B COUPLER
- 15 6" Ø SHAFT - DRILLED TO MAINTAIN PERMEABILITY OF DRAINAGE SOILS
- 16 FABRIC SEAL - UV RESISTANT GEOTEXTILE - TO BE REMOVED BY CUSTOMER AT PROJECT COMPLETION
- 17 ABSORBENT - HYDROPHOBIC PETROCHEMICAL SPONGE. MIN. 12X Ø2 CAPACITY. TYPICAL TWO (2) PER CHAMBER
- 18 CONNECTOR PIPE - 4" Ø SCH 40 PVC
- 19 VENTED ANTI-SIPHON INTAKE WITH FLOW REGULATOR
- 20 INTAKE SCREEN - 4" Ø SCH 40 PVC Ø 12" MODIFIED SLOTTED WELL SCREEN WITH 32 SLOTS PER ROW. RIM 48" OVERALL LENGTH WITH TRI-B END CAP
- 21 FREEDBOARD DEPTH VARIES WITH INLET PIPE ELEVATION. INCREASE PRIMARY/SECONDARY SETTLING CHAMBER DEPTHS AS NEEDED TO MAINTAIN ALL INLET PIPE ELEVATIONS ABOVE CONNECTOR PIPE OVERFLOW
- 22 INLET & OUTLET PIPES - SEE PLAN HEREON FOR INLET & OUTLET PIPES AT PRIMARY SETTLING CHAMBER
- 23 MOISTURE MEMBRANE - 6 MIL PLASTIC. PLACE SECURELY AGAINST ECCENTRIC CONE AND HOLE SIDEWALL. USED IN LIEU OF SLURRY IN LANDSCAPED AREAS
- 24 EIGHT (8) 1.25" DIAMETER HOLES PER FOOT WHERE NOTED



© 2018 TORRENT RESOURCES  
 ALL RIGHTS RESERVED  
 11. PAPER NO. 420102. \*PAPER NO. 100-100-000  
 NOTE: DRAWING NOT TO SCALE

TORRENT RESOURCES MAXWELL PLUS DRYWELL DETAIL 1  
 NOT TO SCALE

CONSTRUCTION NOTES

1. CHAPEL BUILDING PER ARCHITECTURAL PLAN.
2. PUBLIC MAUSOLEUM PER ARCHITECTURAL PLAN.
3. PRIVATE MAUSOLEUM PER ARCHITECTURAL PLAN. BUILDING IS LESS THAN 200 SQ. FT.
4. CONCRETE SIDEWALK.
5. ASPHALT CONCRETE PAVEMENT. SEE TYPICAL ROAD SECTION ON SHEET C2.1
6. BASE COURSE MATERIAL. SEE TYPICAL ROAD SECTION.
7. 6" CURB AND GUTTER PER APWA STANDARD PLAN 120-1, CASE A2.
8. CONCRETE CURB, T=6" PER APWA STANDARD PLAN 120-1, CASE A1.
9. INSTALL 4" PERFORATED DRAIN PIPE WITH 12" GRAVEL POCKET (TYPICAL).
10. RETAINING WALL PER SEPARATE PERMIT, 6' MAXIMUM HEIGHT.
11. REMOVE EXISTING RETAINING WALL.
12. JOIN EXISTING RETAINING WALL.
13. 13' RIGHT OF WAY DEDICATION TO CALTRANS.
14. CURB RAMP PER APWA STD. PLAN 111-3.
15. 6" CONCRETE CURB AND GUTTER PER CALTRANS STANDARD A87B.
16. REMOVE AND RELOCATE EXISTING CATCH BASIN.
17. EXISTING FIRE HYDRANT.
18. PROPOSED FIRE HYDRANT.
19. CONCRETE SIDEWALK.
20. DRY WELL INFILTRATION MANHOLE PER DETAIL 1 ON SHEET C2.1.
21. PRE-TREATMENT MANHOLE.
22. STORM WATER DETENTION STRUCTURE.
23. PROPOSED AREA DRAIN WITH SUMP PUMP.
24. PROPOSED OVERFLOW STORM DRAIN.
25. PROPOSED STORM DRAIN.
26. PROPOSED STORM DRAIN OUTLET TO EXISTING STORM DRAIN SYSTEM IN CIVIC CENTER WAY.
27. PROPOSED PARKWAY CULVERT.
28. STREET RIGHT OF WAY/PROPERTY LINE.
29. EXISTING CURB AND GUTTER.
30. WATER METER.
31. AREA DRAIN.
32. BUS BOARDING ZONE AND LIMOUSINE PARKING.
33. WHEEL STOP.
34. SAWCUT AC PAVEMENT AND JOIN.
35. AC PAVEMENT.
36. DRIVE GATES PER ARCHITECTURAL PLANS.
37. EXISTING BUS STOP.
38. CURB RAMP PER CAL TRANS STD. PLAN RSP AB8A.

REVISIONS	
1	ISSUE
2	REVISED PER ARCHITECTURAL PLAN
3	REVISED PER ARCHITECTURAL PLAN
4	REVISED PER ARCHITECTURAL PLAN
5	REVISED PER ARCHITECTURAL PLAN
6	REVISED PER ARCHITECTURAL PLAN
7	REVISED PER ARCHITECTURAL PLAN
8	REVISED PER ARCHITECTURAL PLAN
9	REVISED PER ARCHITECTURAL PLAN
10	REVISED PER ARCHITECTURAL PLAN
11	REVISED PER ARCHITECTURAL PLAN
12	REVISED PER ARCHITECTURAL PLAN
13	REVISED PER ARCHITECTURAL PLAN
14	REVISED PER ARCHITECTURAL PLAN
15	REVISED PER ARCHITECTURAL PLAN
16	REVISED PER ARCHITECTURAL PLAN
17	REVISED PER ARCHITECTURAL PLAN
18	REVISED PER ARCHITECTURAL PLAN
19	REVISED PER ARCHITECTURAL PLAN
20	REVISED PER ARCHITECTURAL PLAN
21	REVISED PER ARCHITECTURAL PLAN
22	REVISED PER ARCHITECTURAL PLAN
23	REVISED PER ARCHITECTURAL PLAN
24	REVISED PER ARCHITECTURAL PLAN
25	REVISED PER ARCHITECTURAL PLAN
26	REVISED PER ARCHITECTURAL PLAN
27	REVISED PER ARCHITECTURAL PLAN
28	REVISED PER ARCHITECTURAL PLAN
29	REVISED PER ARCHITECTURAL PLAN
30	REVISED PER ARCHITECTURAL PLAN
31	REVISED PER ARCHITECTURAL PLAN
32	REVISED PER ARCHITECTURAL PLAN
33	REVISED PER ARCHITECTURAL PLAN
34	REVISED PER ARCHITECTURAL PLAN
35	REVISED PER ARCHITECTURAL PLAN
36	REVISED PER ARCHITECTURAL PLAN
37	REVISED PER ARCHITECTURAL PLAN
38	REVISED PER ARCHITECTURAL PLAN

MALIBU MEMORIAL PARK  
 4000 Malibu Canyon Road  
 Malibu CA, 90265

**P S O M A S**  
 PROFESSIONAL SURVEYORS  
 10000 Wilshire Blvd., Suite 4100  
 Los Angeles, CA 90048  
 (213) 221-1400 (213) 221-1444 fax  
 www.psonomas.com



GRADING AND  
 DRAINAGE SECTIONS  
 AND DETAILS

DATE:	02/18/2018
SCALE:	As Shown
DRAWN BY:	SPZ
JOB No.:	1046220105
SHEET	C2.1
OF 4 SHEETS	

MATCHLINE TO RIGHT

LEGEND:

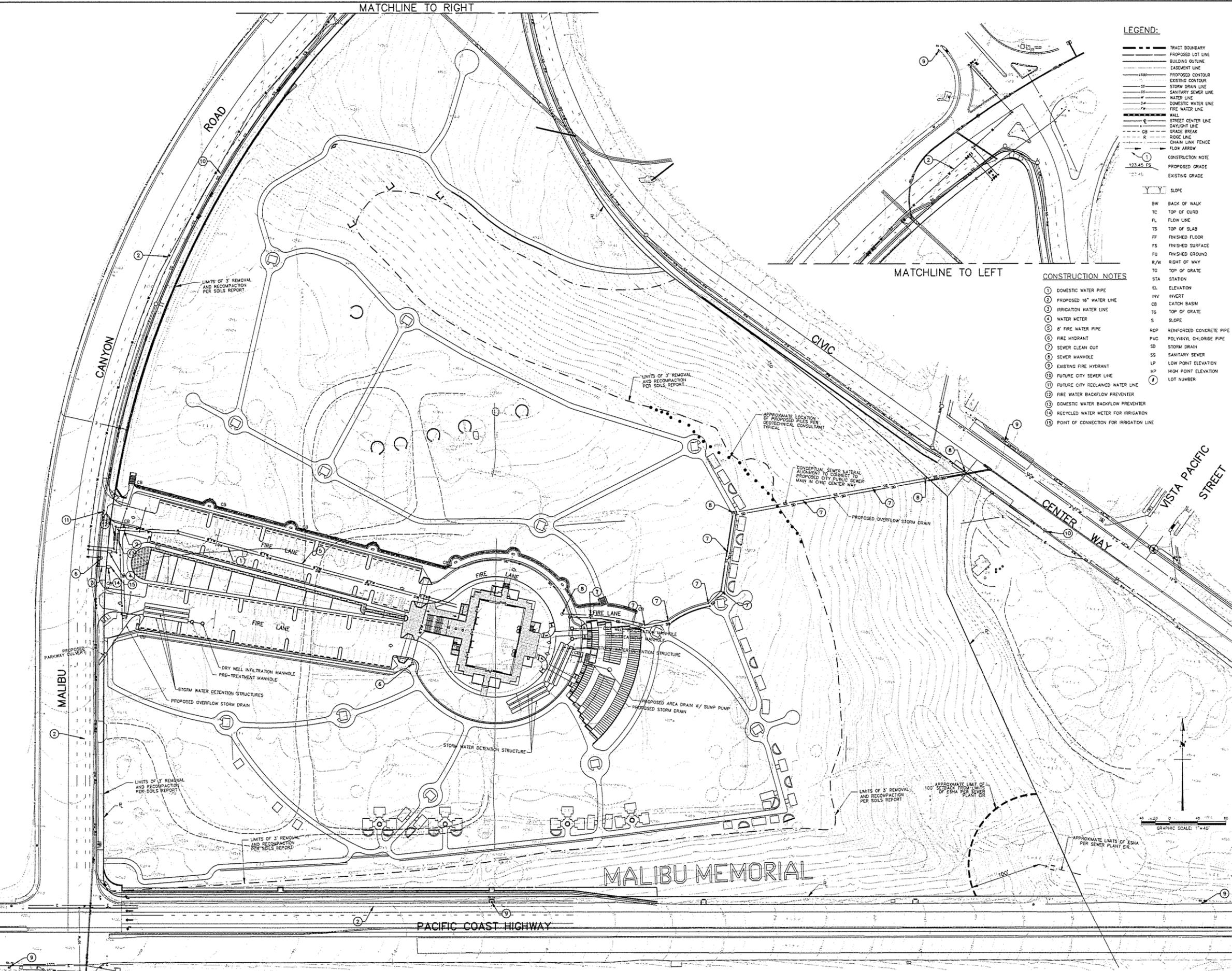
- TRACT BOUNDARY
- - - PROPOSED LOT LINE
- BUILDING OUTLINE
- EASEMENT LINE
- - - PROPOSED CONTOUR
- - - EXISTING CONTOUR
- STORM DRAIN LINE
- SANITARY SEWER LINE
- WATER LINE
- DOMESTIC WATER LINE
- FIRE WATER LINE
- WALL
- STREET CENTER LINE
- DAYLIGHT LINE
- GRADE BREAK
- R — RISE LINE
- CHAIN LINK FENCE
- FLOW ARROW
- ① CONSTRUCTION NOTE
- 123.45 FS PROPOSED GRADE
- 127.45 FS EXISTING GRADE

- SLOPE
- BW BACK OF WALK
- TC TOP OF CURB
- FL FLOW LINE
- TS TOP OF SLAB
- FF FINISHED FLOOR
- FS FINISHED SURFACE
- FG FINISHED GROUND
- R/W RIGHT OF WAY
- TG TOP OF GRADE
- STA STATION
- EL ELEVATION
- INV INVERT
- CB CATCH BASIN
- TO TOP OF GRADE
- S SLOPE
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- SD STORM DRAIN
- SS SANITARY SEWER
- LP LOW POINT ELEVATION
- HP HIGH POINT ELEVATION
- ① LOT NUMBER

CONSTRUCTION NOTES

- ① DOMESTIC WATER PIPE
- ② PROPOSED 16" WATER LINE
- ③ IRRIGATION WATER LINE
- ④ WATER METER
- ⑤ 8" FIRE WATER PIPE
- ⑥ FIRE HYDRANT
- ⑦ SEWER CLEAN OUT
- ⑧ SEWER MANHOLE
- ⑨ EXISTING FIRE HYDRANT
- ⑩ FUTURE CITY SEWER LINE
- ⑪ FUTURE CITY RECLAIMED WATER LINE
- ⑫ FIRE WATER BACKFLOW PREVENTER
- ⑬ DOMESTIC WATER BACKFLOW PREVENTER
- ⑭ RECYCLED WATER METER FOR IRRIGATION
- ⑮ POINT OF CONNECTION FOR IRRIGATION LINE

MATCHLINE TO LEFT



REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

MALIBU MEMORIAL PARK  
 4000 Malibu Canyon Road  
 Malibu CA, 90265

**P S O M A S**  
 PROFESSIONAL ENGINEER  
 License No. 005608  
 CIVIL  
 State of California



SEWER AND  
 WATER PLAN

DATE: 06/22/16  
 SCALE: As Noted  
 DRAWN BY: S.A.Z.  
 JOB No.: 104220102  
 SHEET  
**C3.0**  
 OF 4 SHEETS

Estimated Landscape Water Requirements for:  
Memorial Park and Cemetery at Malibu ET = 44.2

ETWU = ET(0) (.62) (PF x HA) / IE

SUN EXPOSURE	Ks x Kd x Kmc	Ki	LA	
GC (10% total GC) Drip Eff.	(0.2 x 1.00 x 1.00) = 0.20	0.8000	64,504	392,815 GPY
GC (90% total GC) Rotor Eff.	(0.2 x 1.00 x 1.00) = 0.20	0.8000	580,536	4,242,402 GPY
Shrub (10% total GC) Drip Eff.	(0.4 x 1.15 x 1.00) = 0.46	0.4500	6,489	79,027 GPY
Shrub (90% total GC) Rotary Eff.	(0.4 x 1.15 x 1.00) = 0.46	0.4500	58,397	853,492 GPY
Decorative Water Feature Fill Line	(1.0 x 1.00 x 1.00) = 1.00	1.0000	2,083	57,083 GPY
SUBTOTAL SUN EXPOSURE 0.7028 WCLC				

TOTAL IRRIGATED AREA (SQ. FT)	712,008	ETWU	5,624,819 GPY	MAWA	19,511,867
TOTAL IRRIGATED AREA (ACRES)	16.35		17.262 A.F.		
MAWA = ET(0) (.62) (.45 x LA + .55 x SLA)					
44.2 (.62) (.45 x F24 + .55 x F24)					

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC	TOTALs
ET (0)	1.8	2.1	3.3	4.5	4.7	5.0	5.4	5.4	3.9	3.4	2.4	2.3	44.2
GC (DRIP)	15,997	18,683	29,328	39,922	41,770	44,436	47,991	47,991	34,680	30,217	21,329	20,441	392,815
GC (ROTARY)	172,768	201,562	316,740	431,919	451,115	479,910	518,303	518,303	374,330	326,339	230,357	220,758	4,242,402
SHRUB (DRIP)	3,218	3,755	5,900	8,046	8,403	8,940	9,655	9,655	6,973	6,075	4,291	4,112	79,027
SHRUB (ROTARY)	34,758	40,557	63,722	86,854	90,756	96,549	104,273	104,273	75,308	65,653	46,343	44,412	853,492
WTR FTR	2,325	2,712	4,262	5,812	6,070	6,457	6,974	6,974	5,037	4,391	3,100	2,970	57,083
ETWU (MO)	229,067	287,245	419,858	572,667	588,119	636,297	687,200	687,200	496,311	432,682	305,422	292,697	5,624,819
DAYS/MO	31	28	31	30	31	30	31	31	30	31	30	31	365
ETWU (DAY)	7,389	9,544	13,547	19,089	19,294	21,210	22,168	22,168	16,544	13,957	10,181	9,442	15,378

- ALL IRRIGATION WILL BE FROM NON-POTABLE RECYCLED WATER
- THE IRRIGATION PLANS SHALL COMPLY WITH THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PER SECTION MMC SECTION 9.22.080.



Date	Revised

By initiating below, both parties understand, confirm and accept the contents of this sheet and this sheet becomes part of the "Contract Documents"

ATOMIC IRRIGATION  
LANDSCAPE IRRIGATION DESIGN

1158 26th ST.  
P.O. BOX #241  
SANTA MONICA  
CA, 90403

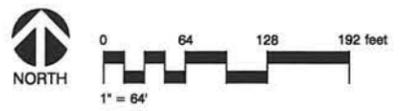
310.592.4707  
EMAIL: info@atomicirrigation.com  
WEB: ATOMICIRRIGATION.COM

Client/Project Address  
Memorial Park & Cemetery at Malibu  
4000 Malibu Canyon Road,  
Malibu, CA 92065

Sheet Title  
Hydrozone Plan - Water Requirement Calculations  
Water Requirement by Composite Weighted Landscape Coefficient Method



DRAWING NUMBER  
**LI-1.0**  
JOB NUMBER  
DRAWN BY: MS  
DATE: MAY 25 2016  
SCALE: As Shown  
REVISION NUMBER  
SHEET # OF SHEETS



NOTE: THIS PLAN IS NOT BASED ON A LEGAL SURVEY, NOR DOES IT IMPLY A LEGAL SURVEY. THIS PLAN IS BASED UPON FIELD MEASUREMENTS ONLY AND IS SOLELY INTENDED FOR LANDSCAPE PURPOSES. ALL PERMANENT IMPROVEMENTS TO BE PLACED OR BUILT ON OR NEAR PROPERTY LINES SHALL BE VERIFIED WITH PLANS FOR EXACT LOCATION OF PROPERTY LINES. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH ALL JURISDICTIONAL CODES, ZONING ORDINANCES AND IN RESPECT OF EASEMENTS.

[place]

(pakshong landscape and architectural collaborative)  
324 sunset avenue suite e venice ca 90291  
310 450 8100 fax 310 450 8144

CONSULTANTS

LANDSCAPE SITE PLAN

KEY PLAN

MALIBU MEMORIAL PARK

Malibu, CA

Project # :	1430	Ref. North
Drawn by :	GS	
Scale :	1"=20'-0"	
Description:	Date:	No.:
RESUBMITTAL	10.29.15	#
	11.20.15	
RESUBMITTAL	02.12.16	
	04.14.16	
RESUBMITTAL	05.24.16	

PROJECT NO: 1430  
These drawings, specifications, views, designs, and arrangements presented hereby are and shall remain the property of [place]. No part thereof shall be copied, disseminated to others or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of [place]. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

SHEET TITLE:  
LANDSCAPE SITE PLAN  
L-2.0

OVERALL SITE PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	AREA	SPACING	QTY	WUCOLS
<b>TREES</b>							
ZONE 3							
	Quercus Agrifolia	Coast Live Oak	48" BOX	-	20' O.C.	56	LVL
	Aesculus californica	California Buckeye and Horse Chestnut	48" BOX	-	20' O.C.	25	L
	Magnolia grandiflora	Southern Magnolia	60" BOX	-	30' O.C.	38	M
	Cinnamomum camphora	Camphor Tree	60" BOX	-	-	14	M/L
	Sambucus mexicana	Mexican Elderberry	48" BOX	-	-	16	L
<b>PLANTING</b>							
ZONE 3							
	Westringia 'Wynabbie Gem'	Coast Rosemary	15 GAL	120 sf	30" O.C.	12	L
	Rosmarinus officinalis 'Irene'	Trailing Blue Rosemary	15 GAL		3' O.C.	12	L
	Westringia fruticosa 'Grey Box'	Dwarf Coast Rosemary	15 GAL		2' O.C.	8	L
	Myrica californica	Pacific Wax Myrtle	15 GAL	26,100 sf	30" O.C.	4584	L
	Buxus microphylla japonica	Japanese Boxwood	15 GAL	3160 sf	15' O.C.	2828	M/H
	Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush 'Pigeon Point'	5 GAL	25,930 SF sf	3' O.C.	965	LVL
	Arctostaphylos 'Pacific Mist'	Manzanilla w/ White Flowers	5 GAL		3' O.C.	965	LVL
	Ceanothus griseus horizontalis	California Lilac	5 GAL		3' O.C.	965	LVL
	Arbutus unedo 'Compacta'	Dwarf Strawberry Tree	15 GAL	9575 sf	6' O.C.	45	M/L
	Wheeler's Dwarf Japanese Mock Orange	Pittosporum tobira 'Wheeler's Dwarf'	5 GAL		4' O.C.	82	M
	Myrtus communis 'Compacta'	Dwarf Myrtle	15 GAL		2' O.C.	330	M
	Lavandula x intermedia 'Grosso'	Lavandin	5 GAL	9575 sf	2' O.C.	330	L
	Salvia species - ornamental varieties	Sage	5 GAL		3' O.C.	147	M/L
	Santolina chamaecyparissus	Lavender Cotton	1 GAL		1' O.C.	1325	L
	Diets bicolor	Fortnight Lily	5 GAL	2083 sf	2' O.C.	330	M/L
	Iris species & varieties/cultivars	Douglas Iris	1 GAL		18" O.C.	588	M
	Myoporum parvifolium	Groundcover Myoporum	Flats		18" O.C.	178940	L
	Carex tumilicola	Berkley Sedge	1 GAL	18" O.C.	17,400	L	
	Agrostis pallens	Nativ Best Grass	SOD	448,700 sf	-	448,700 sf	L?
	Water feature			2083 sf		2083 sf	
TOTAL LANDSCAPE AREA:						712,008 SF	

- ALL IRRIGATION WILL BE FROM NON-POTABLE RECYCLED WATER
- THE IRRIGATION PLANS SHALL COMPLY WITH THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PER SECTION MMC 9.22.080.



AESCULUS CALIFORNICA



TOPIARY

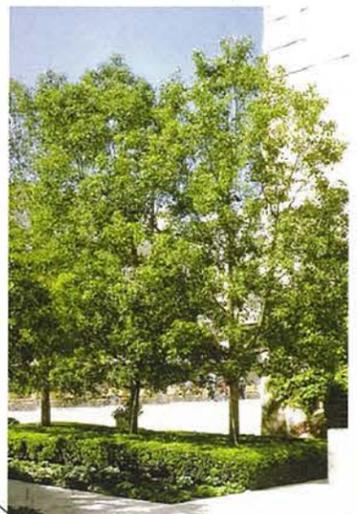


QUERCUS AGRIFOLIA



MYRICA CALIFORNICA

NOT FOR CONSTRUCTION



CINNAMOMUM CAMPHORA



MAGNOLIA GRANDIFLORA

**Exhibits 2 through 4 are available on  
the City's Website:**

- 2. Department Review Sheets**
- 3. Geotechnical Reports**
- 4. Initial Study / Mitigated Negative  
Declaration**